

PAGODA THEATER
1731 POWELL STREET
SAN FRANCISCO, CA

SITE PLAN
N.T.S.

ABBREVIATIONS

CAL OSHA	CALIFORNIA OCCUPATIONAL SAFETY AND HEALTH
CCSF	CITY AND COUNTY OF SAN FRANCISCO
DBI	DEPARTMENT OF BUILDING INSPECTION
DOE	DEPARTMENT OF ENVIRONMENT
DPW	DEPARTMENT OF PUBLIC WORKS
DPT	DEPARTMENT OF PARKING AND TRAFFIC
PG&E	PACIFIC GAS & ELECTRIC
SFMTA	SAN FRANCISCO METROPOLITAN TRANSPORTATION AUTHORITY
SFPUC	SAN FRANCISCO PUBLIC UTILITIES COMMISSION
USA NORTH	UNDERGROUND SERVICE ALERT NORTH

DRAWING INDEX

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NO	REVISION	DATE



BARNARD / IMPREGILO HEALY JV
460 4TH STREET
SAN FRANCISCO, CA 94107

Job Title
THIRD STREET LIGHT RAIL
PROGRAM PHASE 2
CENTRAL SUBWAY
RUNNING TUNNELS



Drawing Title
PAGODA THEATER
DEMOLITION PLAN
SITE PLAN, ABBREVIATIONS
AND DRAWING INDEX

Scale	NOT TO SCALE
File Name	TD-00 DWG
Drawing Status	PRELIMINARY
Drawn By	FCM
Checked By	LP/HH
Job No	219434
Drawing No	TD-00

NOTES

1. THESE DRAWINGS TAKE INTO ACCOUNT THE PARTICULAR INSTRUCTIONS AND REQUIREMENTS OF OUR CLIENT, BARNARD IMPREGILO SA HEALY JV, ON JANUARY 9th, 2013 IN CONNECTION WITH THE CENTRAL SUBWAY PROJECT, C1252 TUNNELING CONTRACT ("THE PROJECT"), AS PART OF THE PROJECT, THE SFMTA HAS ELECTED TO PURSUE THE DEMOLITION OF THE PAGODA THEATER LOCATED AT 1731-1741 POWELL STREET IN SAN FRANCISCO, CA IN ORDER TO CONSTRUCT A RETRIEVAL SHAFT FOR THE TUNNEL BORING MACHINES (TBMS) THAT WILL BE USED TO EXCAVATE THE TUNNELS. THESE DRAWINGS HAVE BEEN PREPARED FOR THE SOLE PURPOSE OF THE APPLICATION FOR THE PERMITTING PROCESS IN FEBRUARY 2013 REQUIRED BY THE DEPARTMENT OF BUILDING INSPECTION (DBI) FOR THE DEMOLITION OF SAID BUILDING. THESE DRAWINGS ARE NOT INTENDED AND SHALL NOT BE USED FOR ANY OTHER PURPOSE. THESE DRAWINGS ARE NOT INTENDED FOR, AND SHALL NOT BE RELIED ON BY, ANY THIRD PARTY AND NO RESPONSIBILITY IS UNDERTAKEN TO ANY THIRD PARTY IN RELATION TO SAME.
2. ALL DEMOLITION WORK SHALL BE IN ACCORDANCE TO THE 2012 CALIFORNIA BUILDING CODE AND ITS AMENDMENTS, INCLUDING 2010 SAN FRANCISCO BUILDING CODE.
3. CONTRACTOR TO FOLLOW CAL OSHA CODES AND ORDINANCES AND LOCAL STANDARDS FOR ALL DEMOLITION WORK SHOWN IN DRAWINGS AND SPECIFICATIONS.
4. CONTRACTOR IS RESPONSIBLE THAT DEMOLITION WORK TAKES PLACE IN PRIVATE PROPERTY OWNED LOT AND DOES NOT ENCROACH IN ADJACENT PRIVATELY OWNED LOTS UNLESS PERMITTED AND/OR AUTHORIZED IN WRITING BY PROPERTY OWNER AND/OR THE APPROPRIATE CCSF AGENCY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WORKING AROUND AND PROTECTING ALL EXISTING FACILITIES ADJACENT TO HIS WORK AREA. THESE FACILITIES INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING: EXISTING TO BE RETAINED BUILDINGS, SIDEWALKS, TREES, HYDRANTS, UTILITY MANHOLES, MUNI POLES, VAULTS, UTILITY POLES, TRAFFIC SIGNAL FACILITIES, AND ADJACENT PROPERTIES AND STRUCTURES. CONTRACTOR SHALL REPAIR AND/OR REPLACE ANY AND ALL EXISTING FACILITIES, ITEMS, AND/OR ADJACENT PROPERTIES NOT SPECIFIED FOR DEMOLITION THAT ARE DISTURBED OR DAMAGED AS A RESULT OF DEMOLITION ACTIVITIES TO A CONDITION EQUAL TO OR BETTER THAN ORIGINAL CONDITION AT NO ADDITIONAL COST TO THE CITY.
6. THE CONTRACTOR SHALL FIELD LOCATE ALL UTILITIES OF EVERY NATURE AND PROTECT UTILITIES THAT ARE TO REMAIN FROM DAMAGE DURING DEMOLITION WORK.
7. CONTRACTOR SHALL PROVIDE CONSTRUCTION SITE FENCING OF GOOD QUALITY, CAPABLE OF SUPPORTING THE ACCIDENTAL APPLICATION OF THE WEIGHT OF AN ADULT WITHOUT COLLAPSE OR MAJOR DEFORMATION AND MAINTAIN PROPER BARRICADES, RAILINGS, GUARDS, FLAGGING, LIGHTING, OR OTHER DEVICES, COMPLYING WITH LOCAL, STATE, AND FEDERAL CODES AND ORDINANCES AS NECESSARY FOR THE PROTECTION OF LIFE AND PROPERTY.
8. DEMOLISHED MATERIAL SHALL BE LEGALLY DISPOSED AND/OR RECYCLED OFF THE SITE AS WORK PROGRESSES.
9. UNLESS SPECIFIED OTHERWISE THE WORD "REMOVE" AS USED HEREIN MEANS DEMOLITION AND DISPOSAL.
10. CONTRACTOR TO PERMIT USE OF ON-SITE CONCRETE CRUSHERS AS NEEDED THROUGH APPROPRIATE CITY AGENCIES AND COMPLY WITH ALL APPLICABLE MITIGATION MEASURES.
11. CONTRACTOR TO COMPLY WITH DOE ON-SITE DIVERSION AND RECYCLING REQUIREMENTS FOR CONSTRUCTION PROJECTS, INCLUDING PREPARATION OF NECESSARY DOCUMENTS.
12. PEDESTRIAN AND VEHICLE PROTECTION COMPLYING WITH ANY AND ALL APPLICABLE CCSF AGENCY AND DEPARTMENT REQUIREMENTS, INCLUDING BUT NOT LIMITED TO DPT AND DPW REQUIREMENTS, MUST BE PROVIDED BY CONTRACTOR. THE CONTRACTOR IS TO COORDINATE ALL NECESSARY SIDEWALK, LANE OR ROAD CLOSURES WITH CCSF AGENCIES AND DEPARTMENTS PURSUANT TO THE CCSF'S STANDARD SPECIFICATION REQUIREMENTS.
13. CONSIDERATION SHALL BE MADE FOR OPPORTUNITIES TO RECYCLE AND REUSE EXISTING BUILDING MATERIALS FOR NEW CONSTRUCTION PURPOSES. THE FOLLOWING ARE PRELIMINARY CONSIDERATIONS: CONCRETE, BRICK/MASONRY AND STEEL.
14. THE CONTRACTOR SHALL PROVIDE ALL EQUIPMENT AND WORKMANSHIP FOR ALL DEMOLITION REQUIRED, HEREIN IN ACCORDANCE WITH ALL CITY, STATE AND FEDERAL CODES, ORDINANCES AND REQUIREMENTS AND ALL APPLICABLE SAFETY REGULATIONS.
15. THE CONTRACTOR SHALL PROVIDE TEMPORARY STREET LIGHTING AS NEEDED, AT ALL TIMES IN ACCORDANCE WITH THE CCSF REQUIREMENTS.
16. CONTRACTOR IS TO CONTACT DPT, CONCERNING ALL PARKING METERS TO BE REMOVED, IF NEEDED; A WRITTEN REQUEST FOR METER REMOVAL MAY BE REQUIRED.
17. ALL WORK WITHIN THE PUBLIC RIGHT OF WAY TO COMPLY WITH ALL DPW REQUIREMENTS, THE CONTRACTOR IS TO COMPLY WITH THE MOST CURRENT VERSION OF THE SAN FRANCISCO BLUE BOOK.
18. CONTRACTOR TO PROVIDE PROTECTION FOR PEDESTRIANS CONSISTENT WITH ALL LOCAL, STATE AND FEDERAL CODES, INCLUDING THE AMERICANS WITH DISABILITIES ACT AND THE CALIFORNIA BUILDING CODE, TITLE 24, INCLUDING 4-FOOT WIDE CLEAR PATH OF TRAVEL REQUIRED ON ANY SIDEWALK AT ALL TIMES; ANY SIDEWALK, STREET OR CROSSWALK CLOSURE SHALL REQUIRE A SPECIAL TRAFFIC PERMIT FROM DPT.
19. FOR ANY PARTIAL OR FULL SIDEWALK AND/OR STREET CLOSURES, CONTRACTOR TO COORDINATE WITH ALL AFFECTED PROPERTY OWNERS AND OBTAIN WRITTEN PERMISSION FROM DPT. IT IS REQUIRED TO MAINTAIN ACCESS TO ALL BUSINESSES TO THE EXTENT FEASIBLE AT ALL TIMES, CONTRACTOR SHALL PERFORM DAILY CLEANING OF WORK AREAS FOR THE DURATION OF THE DEMOLITION WORKS.
20. CONTRACTOR IS SOLELY RESPONSIBLE FOR DESIGN OF ANY AND ALL TEMPORARY WALL AND FLOOR BRACING FOR PROTECTION AND/OR DEMOLITION.

SITE LOCATION

1. LOT BUILDING LOCATION INFORMATION FROM ARCHITECTURAL TOPOGRAPHIC SURVEY PLAN, ASSESSOR'S BLOCK No. 0101, LOT No. 004, 1731-1741 POWELL STREET, PERFORMED BY TRANSAMERICAN ENGINEERS DATED AUGUST 21ST, 2009

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Client: THIRD STREET LIGHT RAIL
PROGRAM PHASE 2
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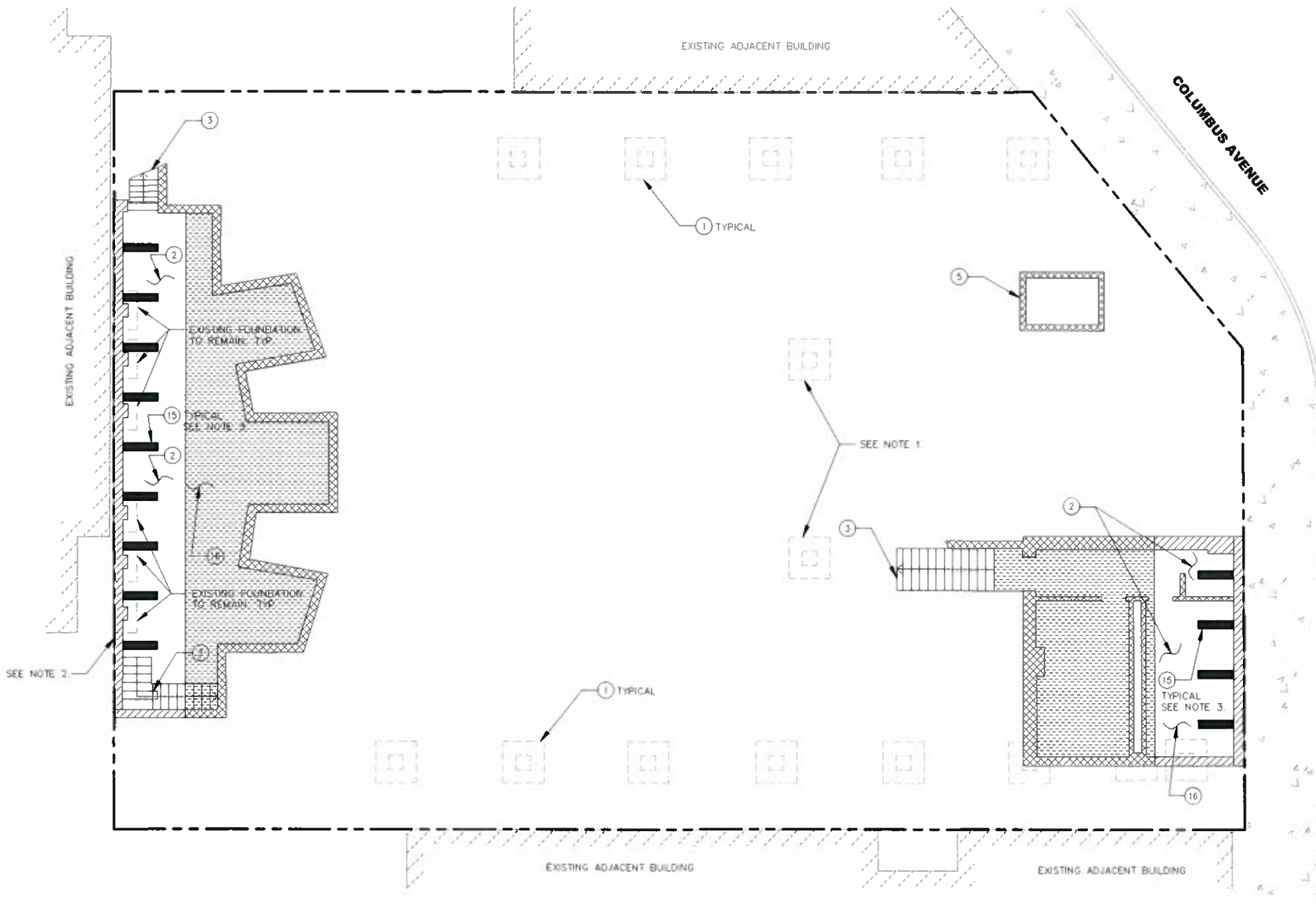
Drawing Title: PAGODA THEATER
DEMOLITION PLAN
GENERAL NOTES

Scale: NOT TO SCALE
File Name: TD-01.DWG
Drawing Status: PRELIMINARY
Drawn By: FCM
Checked By: LPJ/H
Job No: 219434
Drawing No: TD-01

FILBERT STREET

COLUMBUS AVENUE

POWELL STREET



NOTES

1. CONTRACTOR IS RESPONSIBLE TO FIELD VERIFY SPREAD FOOTINGS LOCATION AND DIMENSION.
2. BUILDING REAR WALL TO BE DEMOLISHED TO GRADE.
3. LOCATION AND NUMBER OF RAKERS SHOWN ON DRAWING IS INDICATIVE ONLY. RAKERS TO BE DESIGNED AND STAMPED BY A REGISTERED CALIFORNIA PROFESSIONAL ENGINEER; DEMOLITION CONTRACTOR SHALL INSTALL THE RAKERS PRIOR TO SLAB ON GRADE DEMOLITION.
4. FOUNDATION AND ELEVATOR SHAFT DEMOLITION EXCAVATIONS SHALL BE BACKFILLED WITH CLASS II FILL.
5. CONTRACTOR TO TAKE SPECIAL CARE WHEN DEMOLISHING REAR WALL, IN ORDER TO AVOID ANY DAMAGE TO THE ADJACENT PARKING BUILDING BRICK WALL.
6. CONTRACTOR TO NOTIFY OWNERS REPRESENTATIVE IF ADJACENT PROPERTY FOUNDATION IS FOUND TO ENCROACH INTO THE PAGODA THEATER PROPERTY.

LEGEND

1. EXISTING FOUNDATION TO BE REMOVED.
2. EXISTING CONCRETE SLAB TO REMAIN.
3. EXISTING STAIRS, LANDING RAMP TO BE REMOVED.
4. EXISTING CONCRETE RAMP TO BE REMOVED.
5. EXISTING ELEVATOR SHAFT TO BE REMOVED.
6. EXISTING WATER, GAS LINES TO BE REMOVED; THEY SHALL BE CUT AND CAPPED AT THE PROPERTY LINE.
7. EXISTING CONCRETE ENCLOSED STEEL COLUMNS LOCATED WITHIN BUILDING WALL, BRICK MASONRY WALL OR STEEL COLUMNS TO BE REMOVED.
8. EXISTING SIGN TO BE REMOVED.
9. EXISTING PRINCIPAL BEAM SUPPORTING MEZZANINE TO BE REMOVED.
10. EXISTING ROOF TO BE REMOVED.
11. EXISTING TRUSSES TO BE REMOVED.
12. EXISTING BRICK WALL, CONCRETE WALL, STUD WALL, ROOF, WINDOWS AND MULTIPLE TOP LEVEL STUD TO BE REMOVED.
13. EXISTING CONCRETE LOW WALL TO BE REMOVED.
14. EXISTING RETAINING WALL AGAINST NEIGHBOR BUILDING TO REMAIN, PROTECT IN PLACE.
15. PROVIDE RAKERS TO SUPPORT EXISTING BASEMENT WALL.
16. AFTER PLACING BRACING AND REMOVING GROUND LEVEL SLAB, BACKFILL BASEMENT WITH CRUSHED CONCRETE OR CLASS II FILL.

- EXISTING BASEMENT CONCRETE WALLS TO BE REMOVED.
- EXISTING BRICK, CONCRETE WALL AND CONCRETE ENCASED STEEL COLUMNS IN BASEMENT, TO BE RETAINED; PROTECT IN PLACE.
- EXISTING BASEMENT CONCRETE SLAB TO BE REMOVED.
- EXISTING PROPERTY LINE.



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Job Title
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 PROGRAM PHASE 2
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 RUNNING TUNNELS

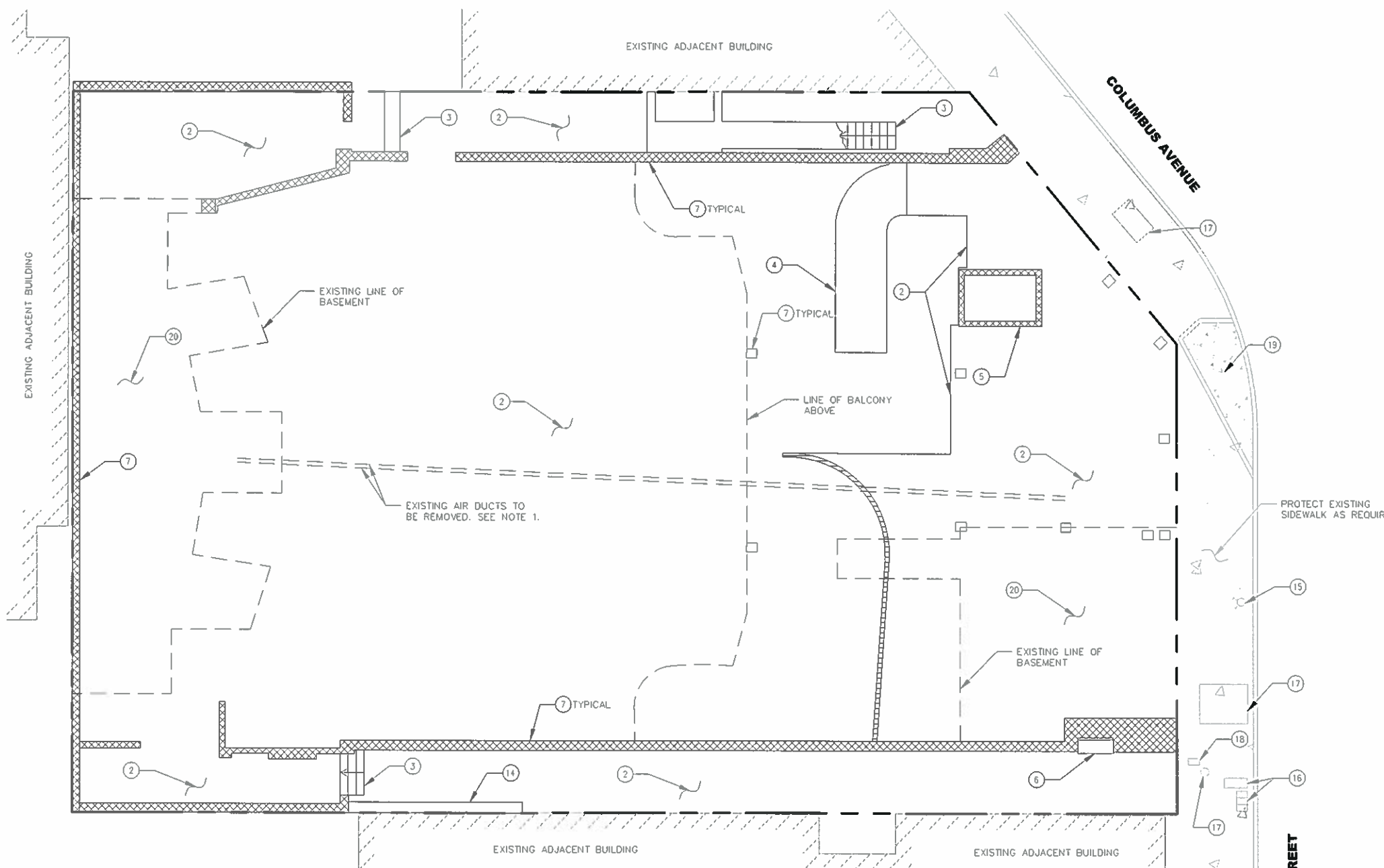


Key Plan

Drawing Title
**PAGODA THEATER
 DEMOLITION PLAN
 BASEMENT LEVEL**

Scale	1 1/2" = 1'-0"
File Name	TD-10.DWG
Drawing Status	PRELIMINARY
Drawn By	FCM
Checked By	LP/HH
Job No	219434
Drawing No	TD-10

FILBERT STREET



NOTES

1. BASED IN THE GEOTECHNICAL INVESTIGATION 1731-1741 POWELL STREET, LA CORNETA PALACE, REPORT, BY TREADWELL ROLLO, IN SAN FRANCISCO, CA, THERE ARE TWO NARROW AIR DUCTS RUNNING FROM THE REAR BASEMENT TO THE FRONT OF THE BUILDING, THEIR LOCATION SHOWN IS APPROXIMATE. THE CONTRACTOR IS RESPONSIBLE FOR FIELD LOCATION OF SUCH UTILITIES.

LEGEND

- 1 EXISTING FOUNDATION TO BE REMOVED.
- 2 EXISTING CONCRETE SLAB AND MULTIPLE TOP LEVEL DECK TO BE REMOVED.
- 3 EXISTING STAIRS, LANDING RAMP TO BE REMOVED
- 4 EXISTING CONCRETE RAMP TO BE REMOVED.
- 5 EXISTING ELEVATOR SHAFT TO BE REMOVED.
- 6 EXISTING WATER, GAS LINES TO BE REMOVED, THEY SHALL BE CUT AND CAPPED AT THE PROPERTY LINE
- 7 EXISTING CONCRETE ENCLOSED STEEL COLUMNS LOCATED WITHIN BUILDING WALL, BRICK MASONRY WALL OR STEEL COLUMNS TO BE REMOVED TO GROUND LEVEL.
- 8 EXISTING SIGN TO BE REMOVED.
- 9 EXISTING PRINCIPAL BEAM SUPPORTING MEZZANINE TO BE REMOVED.
- 10 EXISTING ROOF TO BE REMOVED.
- 11 EXISTING TRUSSES TO BE REMOVED.
- 12 EXISTING BRICK WALL, CONCRETE WALL, STUD WALL, ROOF, WINDOWS AND MULTIPLE TOP LEVEL STUD TO BE REMOVED.
- 13 EXISTING CONCRETE LOW WALL TO BE REMOVED.
- 14 EXISTING RETAINING WALL AGAINST NEIGHBOR BUILDING TO REMAIN, PROTECT IN PLACE
- 15 EXISTING FIRE HYDRANT TO REMAIN.
- 16 EXISTING SFPUC WATER METER TO REMAIN
- 17 EXISTING PG&E UTILITY TO REMAIN.
- 18 EXISTING TELEPHONE UTILITY TO REMAIN.
- 19 EXISTING CURB RAMP TO REMAIN.
- 20 REMOVE GROUND FLOOR SLAB OVER BASEMENT AFTER WALL BRACING HAS BEEN INSTALLED.

EXISTING BRICK WALL, CONCRETE WALL, STUD WALL, ROOF, WINDOWS AND MULTIPLE TOP LEVEL STUD TO BE REMOVED.

 EXISTING CONCRETE LOW WALL TO BE REMOVED.

 EXISTING PROPERTY LINE



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 460 4TH STREET
 SAN FRANCISCO, CA 94107

Job Title
THIRD STREET LIGHT RAIL PROGRAM PHASE 2 CENTRAL SUBWAY RUNNING TUNNELS

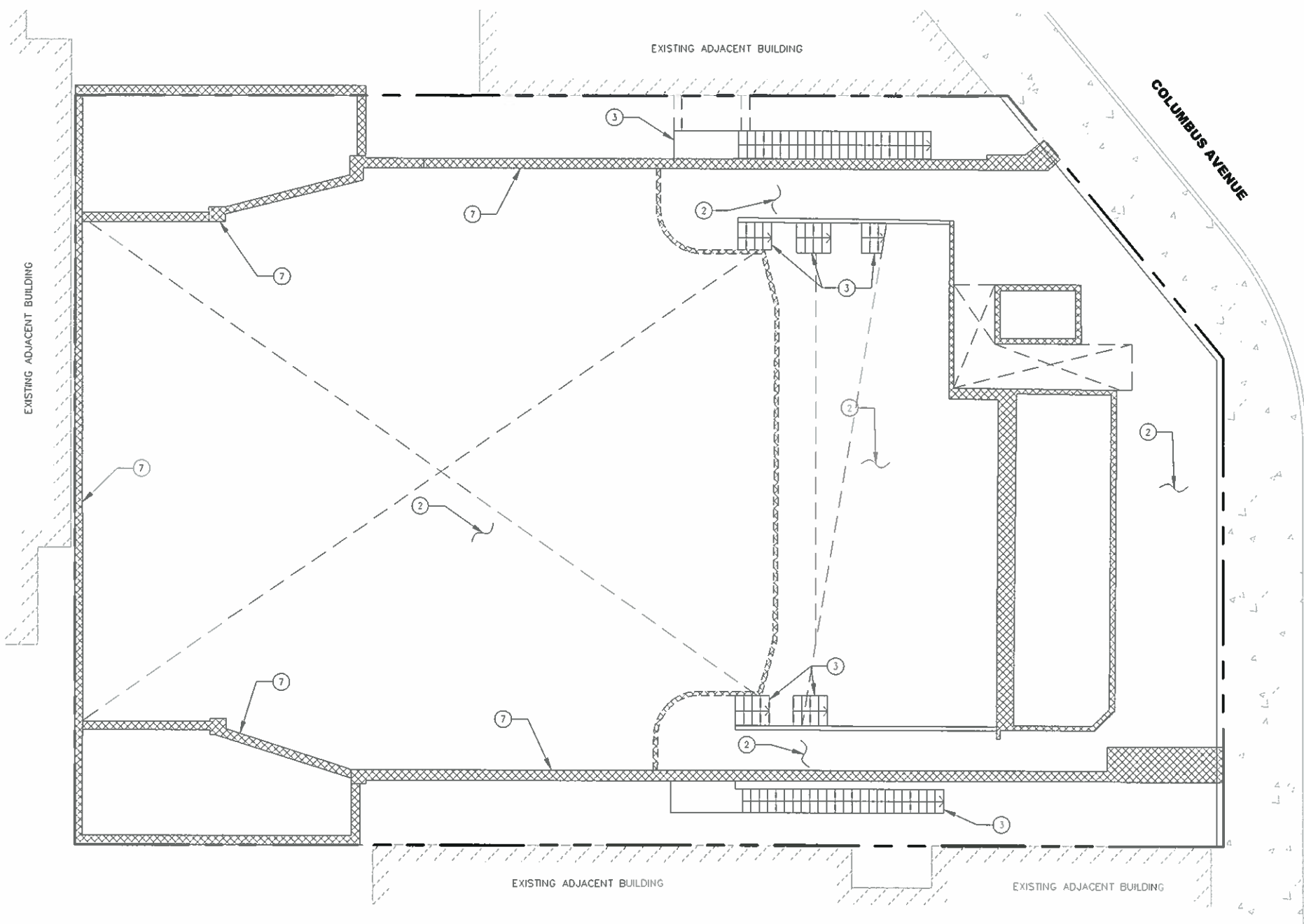
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Drawing Title
PAGODA THEATER DEMOLITION PLAN GROUND LEVEL

Scale 1/2" = 1'-0"
 File Name TD-11.DWG
 Drawing Status **PRELIMINARY**
 Drawn By FCM
 Checked By LPJ/H
 Job No 219434 Drawing No TD-11

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FILBERT STREET



NOTES

1. CONTRACTOR IS RESPONSIBLE TO CAREFULLY EXAMINE CONDITIONS FOR POTENTIALLY UNDISCOVERED ITEMS.
2. PROTECT SHORING WALLS AGAINST NEIGHBORS BUILDINGS AND FOUNDATIONS, DURING DEMOLITION WORK.

LEGEND

1. EXISTING FOUNDATION TO BE REMOVED.
 2. EXISTING CONCRETE SLAB AND MULTIPLE TOP LEVEL DECK TO BE REMOVED.
 3. EXISTING STAIRS, LANDING RAMP TO BE REMOVED
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Key Plan

Drawing Title
 PAGODA THEATER
 DEMOLITION PLAN
 SECOND LEVEL

Scale	1 1/2" = 1'-0"
File Name	TD-12.DWG
Drawing Status	PRELIMINARY
Drawn By	FCM
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Job No	219434
Drawing No	TD-12

NO	REVISION	DATE

FILBERT STREET

EXISTING ADJACENT BUILDING

COLUMBUS AVENUE

EXISTING ADJACENT BUILDING

POWELL STREET

EXISTING ADJACENT BUILDING

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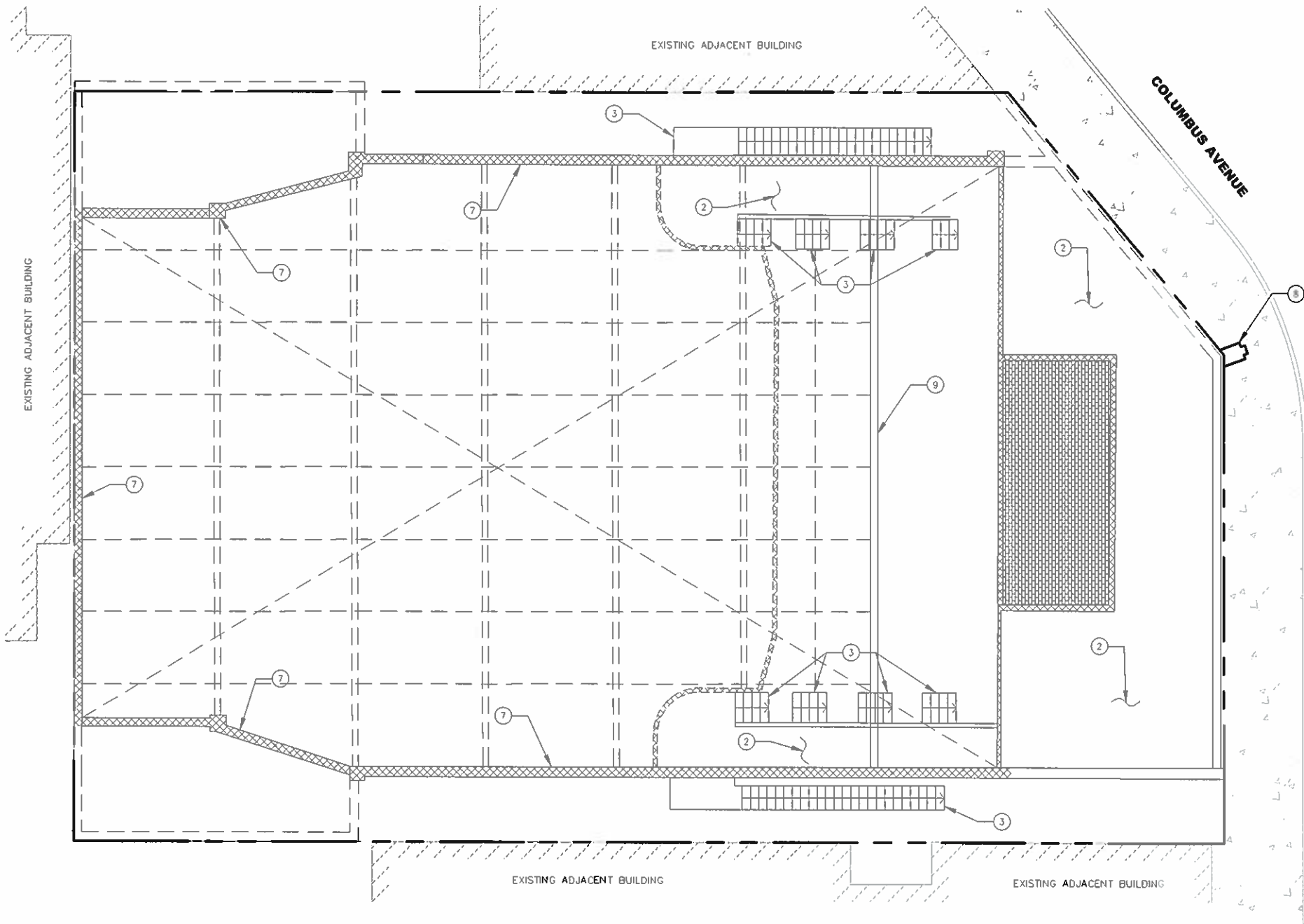


Key Plan

Drawing Title
**PAGODA THEATER
 DEMOLITION PLAN
 THIRD LEVEL**

Scale	1 1/2" = 1'-0"
File Name	TD-13.DWG
Drawing Status	PRELIMINARY
Drawn By	FCM
Checked By	LPJH
Job No	219434
Drawing No	TD-13

FILBERT STREET


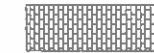



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-  EXISTING MAIN ROOF TO BE REMOVED.
-  EXISTING PROPERTY LINE



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Key Plan

Drawing Title
 PAGODA THEATER
 DEMOLITION PLAN
 FOURTH LEVEL

Scale 1 1/2" = 1'-0"
 File Name TD-14.DWG
 Drawing Status **PRELIMINARY**
 Drawn By FCM
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 Job No 219434 Drawing No TD-14

NO	REVISION	DATE

FILBERT STREET

EXISTING ADJACENT BUILDING

COLUMBUS AVENUE

EXISTING ADJACENT BUILDING

POWELL STREET

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- EXISTING MAIN ROOF TO BE REMOVED.
- EXISTING MAIN ROOF AND SUPPORTING TRUSSES TO BE REMOVED.
- EXISTING MAIN ROOF TO BE REMOVED.
- EXISTING PROPERTY LINE.



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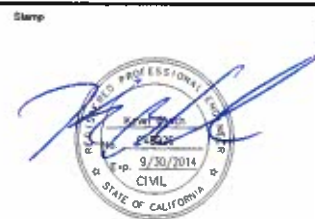
Arup North America Ltd.
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BARNARD / IMPREGILO HEALY JV
460 4TH STREET
SAN FRANCISCO, CA 94107

Job Title
THIRD STREET LIGHT RAIL
PROGRAM PHASE 2
CENTRAL SUBWAY
RUNNING TUNNELS



Key Plan

Drawing Title

PAGODA THEATER
DEMOLITION PLAN
ROOF LEVEL

Scale 1 1/2"=1'-0"

File Name TD-15.DWG

Drawing Status
PRELIMINARY

Drawn By FCM

Checked By LP/PH

Job No 219434

Drawing No TD-15

San Francisco Office: 415.957.9445 Fax: 415.957.9096 www.arup.com

