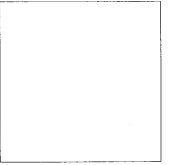
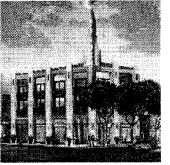


7 JANUARY 2013

THE PALACE
AT WASHINGTON SQUARE



No.	Date	Revised and Marked	By
DESIGN BUILD BID SET	11/2/10		
SITE PERMIT RESUBMITTAL	11/23/10		
SITE PERMIT REVISION LOGS	03/25/11		
SITE PERMIT REVISION (SFFD)	6/18/12		
CONDITIONAL USE PERMIT RESUBMITTAL	1/17/13		

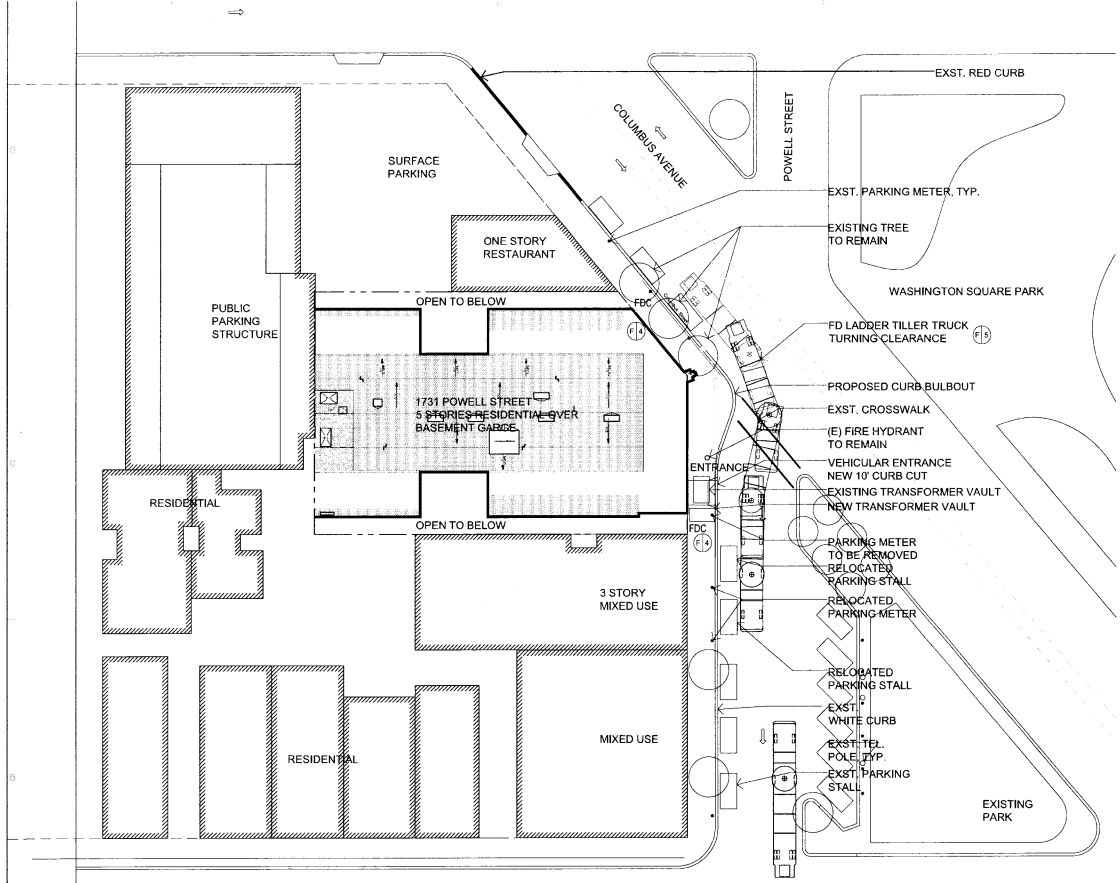
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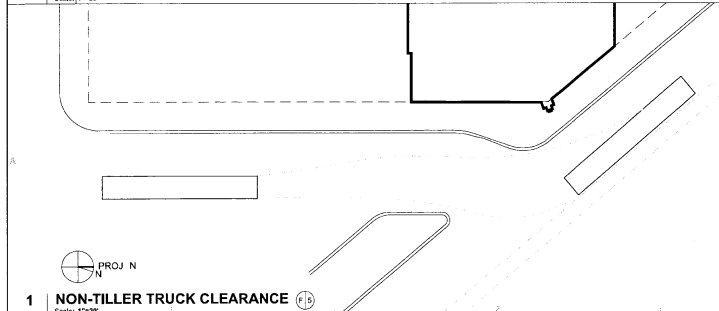
Project Name
THE PALACE AT WASHINGTON SQ
 1731-1741 Powell Street
 San Francisco, CA 94133

Site Plan
 Date
A-100
 Project Plan

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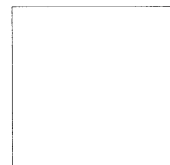
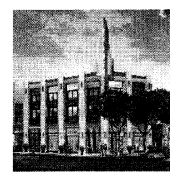
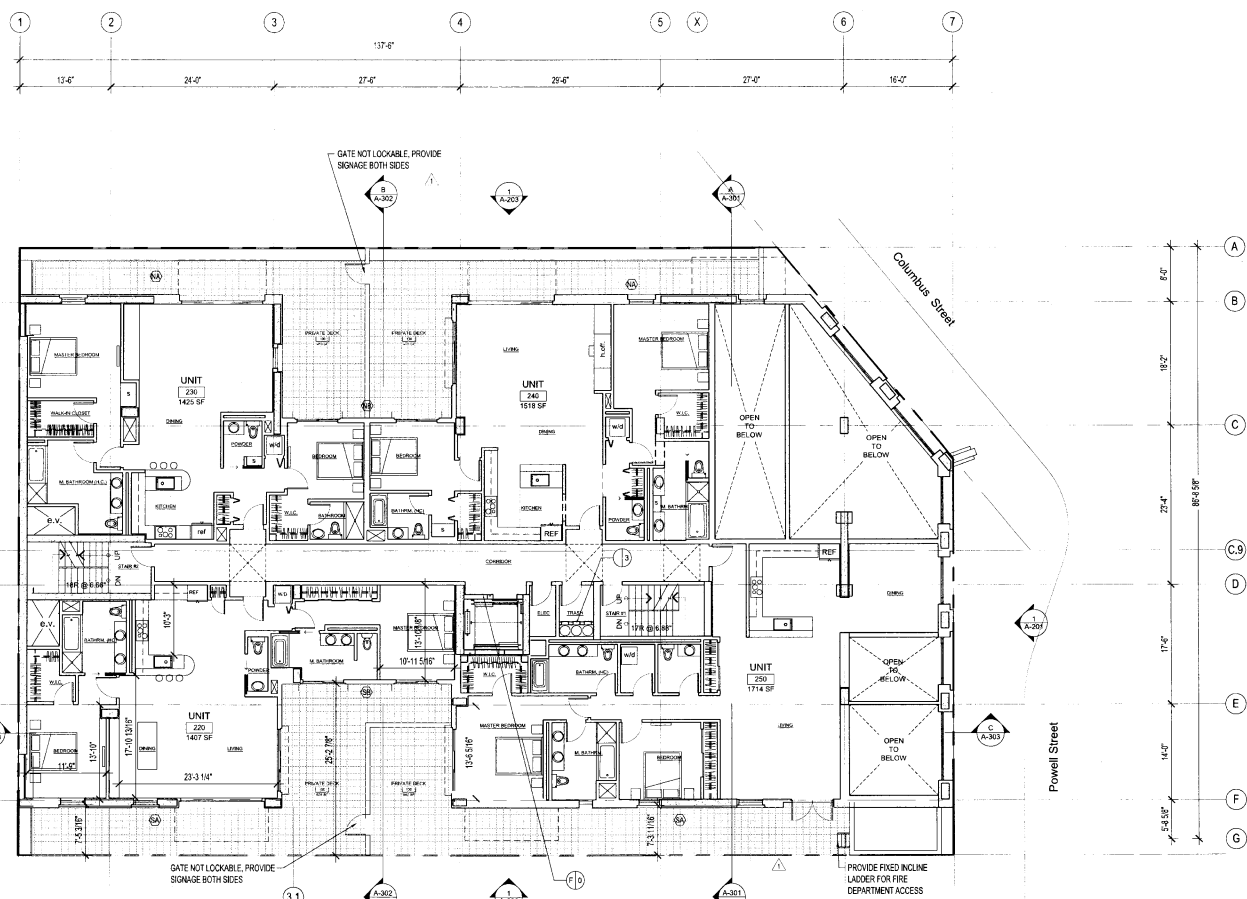


1 SITE PLAN
 Scale: 1"=20'

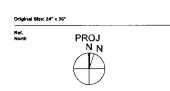


1 NON-TILLER TRUCK CLEARANCE
 Scale: 1"=20'

- PLAN KEY NOTES**
- (E) BRICK WALLS & COLUMNS TO REMAIN
 - (E) TRUSSES TO REMAIN, MODIFY AS NECESSARY FOR REQUIRED CLEARANCES
 - (S) PROVIDE ADEQUATE CLEARANCE IN TRASH SHAFT TO ACCOMMODATE SPRINKLERS
 - (F-4) SFFD - 4: FIRE DEPARTMENT CONNECTION LOCATIONS
 - (F-5) SFFD - 5: FIRE DEPARTMENT LADDER TILLER TRUCK ANALYSIS @ PLANNING DEPT REQUESTED BULB OUT



No.	Date	Revisions and Remarks	By
DESIGN/BUILD BID SET	11/21/10		
1	11/21/10	11/21/10	
2	11/21/10	11/21/10	
3	11/21/10	11/21/10	
4	11/21/10	11/21/10	
5	11/21/10	11/21/10	
6	11/21/10	11/21/10	
7	11/21/10	11/21/10	



Project Name: THE PALACE AT WASHINGTON SQ
 1731-1741 Powell Street
 San Francisco, CA 94133
 Second Level Floor Plan

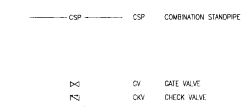
A-102

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01 SECOND LEVEL FLOOR PLAN

Scale: 1/8" = 1'-4"

SHEET LEGEND



PROTECTED OPENING INFORMATION

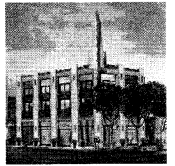
WALL	WALL AREA (sf)	OPENING AREA (sf)	% OPENING	FIRE SEPARATION DISTANCE (feet)	% OPENING ALLOWED (UNPROTECTED, SPRINKLERED)
NA	892.5	181	20%	7'-1"	25%
NB	237.5	96	40%	25'-7"	NO LIMIT
SA	1050	215	20%	7'-3"	25%
SB	237.5	96	40%	25'-0"	NO LIMIT

SYMBOLS LEGEND

1H	1 HOUR FIRE RATED ENCLOSURE	RE	BUILDING EGRESS	WD	WALL DESIGNATION
2H	2 HOUR FIRE RATED ENCLOSURE	FCP	FIRE CONTROL PANEL	AR	ACCESSIBLE ROUTE
SS	2 HOUR FIRE RATED SHAFT	SP	STAND PIPE	EP	EXIT PATH OF TRAVEL
SA	SLEEPING AREA	FE	PORTABLE FIRE EXTINGUISHER	KB	KNOX BOX
PO	PROTECTED OPENING	1H	1 HR FIRE RATED	2H	2 HR FIRE RATED
EW	ESCAPE WINDOW				

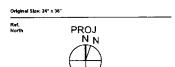
PLAN SHEET NOTES

- 1 NOT USED
- 2 NOT USED
- 3 PROVIDE ADEQUATE CLEARANCE IN TRASH SHAFT TO ACCOMMODATE SPRINKLERS
- 4 SFFD - 3: STANDPIPE LOCATIONS
- 5 SFFD - 8: ALLOWABLE OPENING AREA TABLE
- 6 SFFD - 0: PROVIDE RATED HOISTWAY DOOR AND SMOKE CONTAINMENT SYSTEM PER: CBC SEC 708.14.1 EX 8



Rev.	Date	Issue and Revision	By
01	11/20/10	DESIGN/BUILD SET	11/20/10
02	11/23/10	PERMITS SUBMITTAL	11/23/10
03	11/23/10	PERMITS SUBMITTAL	11/23/10
04	11/23/10	PERMITS SUBMITTAL	11/23/10
05	11/23/10	PERMITS SUBMITTAL	11/23/10
06	11/23/10	PERMITS SUBMITTAL	11/23/10
07	11/23/10	PERMITS SUBMITTAL	11/23/10
08	11/23/10	PERMITS SUBMITTAL	11/23/10
09	11/23/10	PERMITS SUBMITTAL	11/23/10
10	11/23/10	PERMITS SUBMITTAL	11/23/10

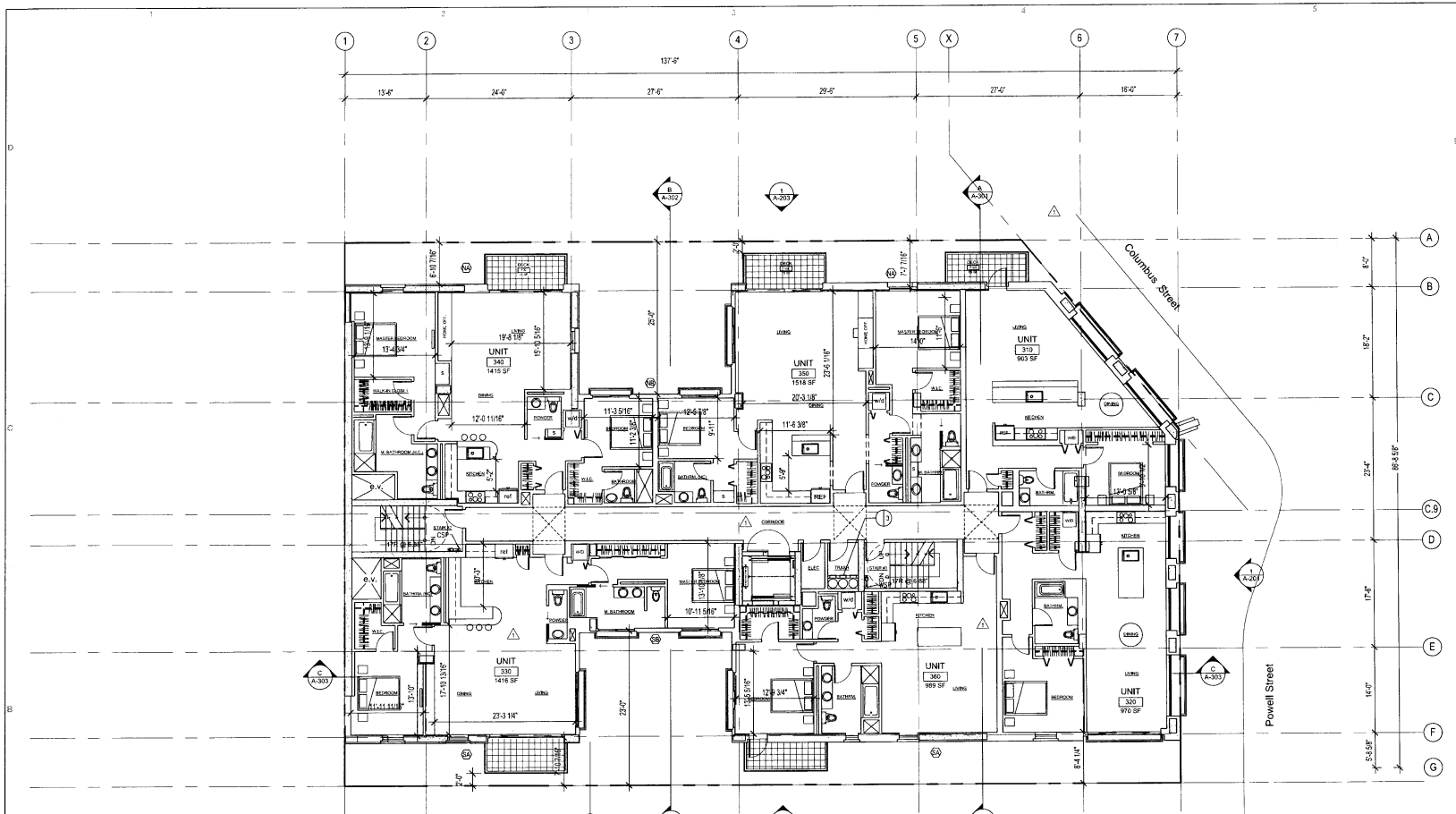
11	11/23/10	PERMITS SUBMITTAL	11/23/10
12	11/23/10	PERMITS SUBMITTAL	11/23/10
13	11/23/10	PERMITS SUBMITTAL	11/23/10
14	11/23/10	PERMITS SUBMITTAL	11/23/10
15	11/23/10	PERMITS SUBMITTAL	11/23/10
16	11/23/10	PERMITS SUBMITTAL	11/23/10
17	11/23/10	PERMITS SUBMITTAL	11/23/10
18	11/23/10	PERMITS SUBMITTAL	11/23/10
19	11/23/10	PERMITS SUBMITTAL	11/23/10
20	11/23/10	PERMITS SUBMITTAL	11/23/10



Project Name: THE PALACE AT WASHINGTON SQ
 1731-1741 Powell Street
 San Francisco, CA 94133
 Third Level Floor Plan

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 Page 2 of 2

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01 THIRD LEVEL FLOOR PLAN
 Scale: 1/8" = 1'-0"

SHEET LEGEND	
	F FIRE SPRINKLER PIPING
	CSP COMBINATION STANDPIPE
	DSP DRY STANDPIPE
	WSP WET STANDPIPE
	IV INDICATING GATE VALVE
	GV GATE VALVE
	CV CHECK VALVE
	FDC FIRE DEPT CONNECTION
	WSP WET STANDPIPE RISER
	SP STANDPIPE RISER

PROTECTED OPENING INFORMATION					
WALL	WALL AREA (sf)	OPENING AREA (sf)	% OPENING	FIRE SEPARATION DISTANCE (feet)	% OPENING ALLOWED (UNPROTECTED, SPRINKLERED)
NA	892.5	211	24%	7'-1"	25%
NB	237.5	96	40%	25'-7"	NO LIMIT
SA	1050	190	18%	7'-3"	25%
SB	237.5	96	40%	25'-0"	NO LIMIT

SYMBOLS LEGEND			
	1 HOUR FIRE RATED ENCLOSURE		BUILDING EGRESS
	2 HOUR FIRE RATED ENCLOSURE		FIRE CONTROL PANEL
	2 HOUR FIRE RATED SHAFT		STAND PIPE
	SLEEPING AREA		PORTABLE FIRE EXTINGUISHER
	PROTECTED OPENING		KNOX BOX
	ESCAPE WINDOW		WALL DESIGNATION
			ACCESSIBLE ROUTE
			EXIT PATH OF TRAVEL
			1 HR FIRE RATED
			2 HR FIRE RATED

PLAN SHEET NOTES

1) NOT USED

2) NOT USED

3) PROVIDE ADEQUATE CLEARANCE IN TRASH SHAFT TO ACCOMMODATE SPRINKLERS

4) SFFD - 3: STANDPIPE LOCATIONS

5) SFFD - 6: ALLOWABLE OPENING TABLE

6) SFFD - 0: PROVIDE RATED HOISTWAY DOOR AND SMOKE CONTAINMENT SYSTEM PER: CBC SEC 708.14.1 EX 8

PLAN KEY NOTES

1) NOT USED

2) NOT USED

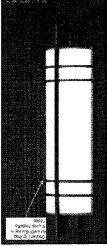
3) PROVIDE ADEQUATE CLEARANCE IN TRASH SHAFT TO ACCOMMODATE SPRINKLERS

4) SFFD - 3: STANDPIPE LOCATIONS

5) SFFD - 6: ALLOWABLE OPENING TABLE

6) SFFD - 0: PROVIDE RATED HOISTWAY DOOR AND SMOKE CONTAINMENT SYSTEM PER: CBC SEC 708.14.1 EX 8

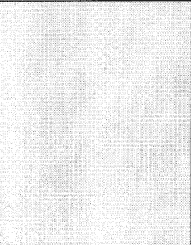
EXTERIOR WALL SCIENCE
 COOPER LIGHTING
 BRONZE FINISH



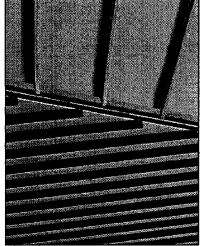
ALUMINUM WINDOW MULLION, ANODIZED FINISH
 ARCHITECTURAL METAL SCREEN & BALCONY RAIL
 METAL ACCENTS - BRONZE METALLIC FINISH



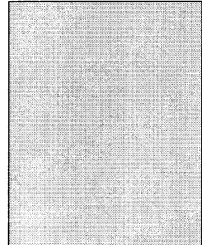
CEMENT PLASTER, LIGHT COLOR, FINE SAND
 FLOAT FINISH - COLOR - SHERMAN WILLIAMS
 SW 6098 - PACE WHITE (TO MATCH COLOR OF ST-1)



STANDING SEAM METAL ROOF -
 SILVER METALLIC FINISH
 METAL CLADDING



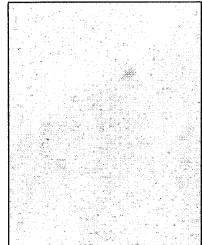
CEMENT PLASTER, MEDIUM COLOR, KNOCKDOWN
 DASH FINISH - COLOR - SW 6101 - SANDS OF TIME



WOOD CLAD BI-FOLD DOOR
 MULLION - NATURAL CHERRY
 FINISH



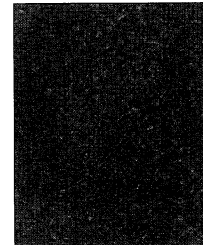
LIMESTONE - INTERTILE SIMBNA



WOOD CLAD WINDOW MULLION -
 NATURAL CHERRY FINISH



STONE BASE - INTERTILE ST. MARC
 LEATHER LIMESTONE

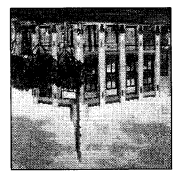


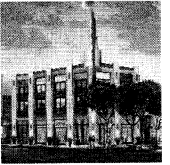
MATERIALS KEY

THE PALACE AT WASHINGTON SQ
 1731-1741 Powell Street
 San Francisco, CA 94133
 MATERIALS KEY
 M-001

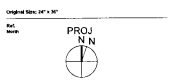
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 11010
 SITE REPAIR RESUBMITAL
 110110

Holt LHM Hinshaw
 SAN FRANCISCO
 415 398 8000
 1112 MARKET ST
 4TH FLOOR
 SAN FRANCISCO, CA 94102





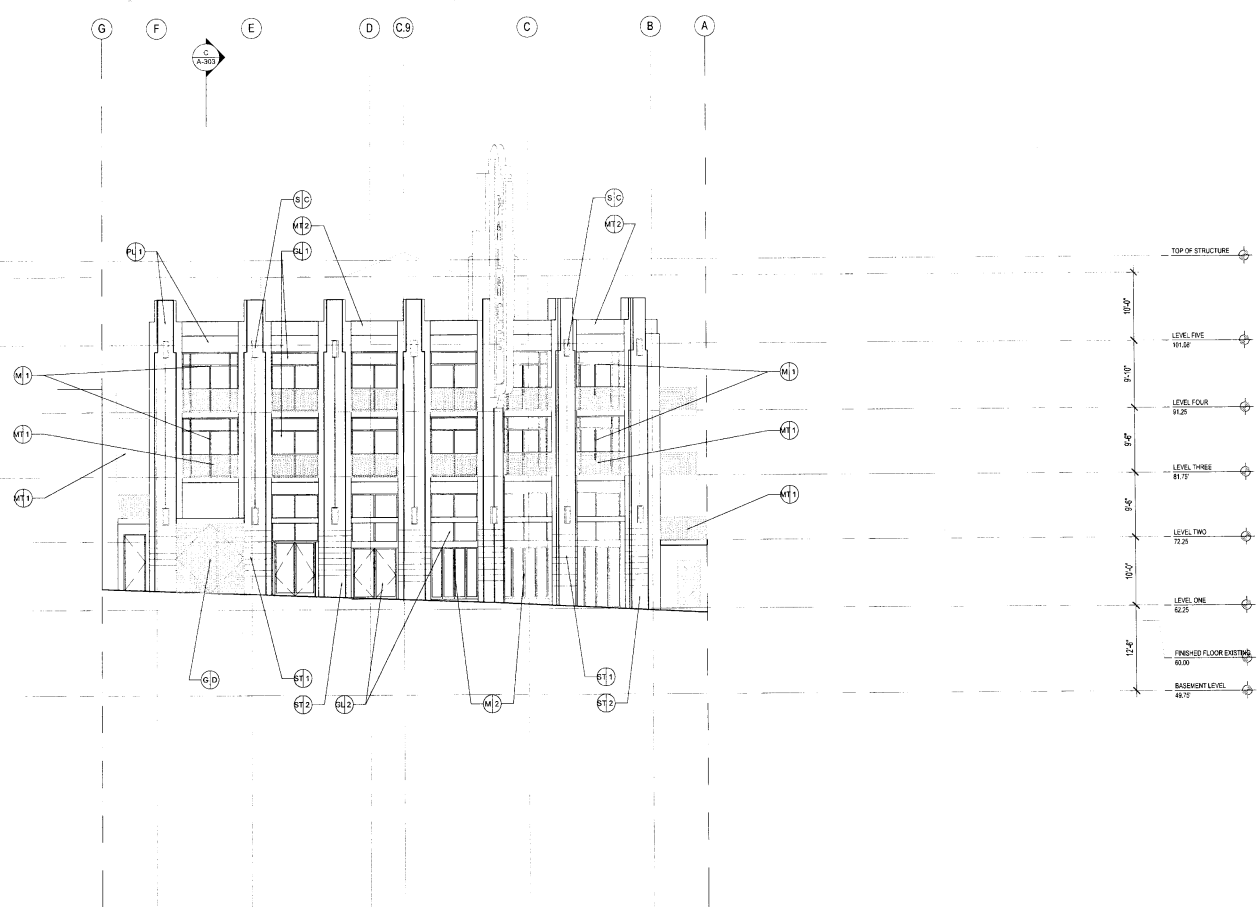
No.	Date	Revised For/By	By
DESIGN/BUILD BID SET	11/01/10		
▲ SITE PERMIT REVISION (AT)	11/01/10		
▲ SITE PERMIT REVISION (DR)	5/05/11		
▲ SITE PERMIT REVISION (SPT)	6/18/12		
▲ CONDITIONAL USE PERMIT REVISION (AT)	1/7/13		



Project Name
THE PALACE AT WASHINGTON SQ
 1731-1741 Powell Street
 San Francisco, CA 94133
 Drawing:
EAST ELEVATION

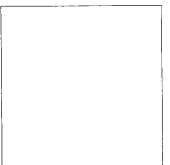
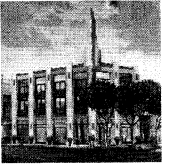
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A-201
 FIGURE PAGE

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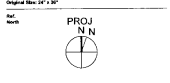
01 BUILDING ELEVATION - EAST
 Scale: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE		EXTERIOR FINISH SCHEDULE	
PL1	CEMENT PLASTER, LIGHT COLOR, FINE SAND FLOAT FINISH	M1	STANDING SEAM METAL ROOF
PL2	CEMENT PLASTER, MEDIUM COLOR, KNOCKDOWN DASH FINISH	M2	METAL CLADDING
ST1	LIMESTONE	GD	METAL GARAGE DOOR
ST2	GRANITE BASE	SC	EXTERIOR WALL SCONCE
GL1	LOW-E CLEAR GLASS	SP	SOLAR PANEL
GL2	STOREFRONT GLASS		
GR	GLASS GUARDRAIL		
M1	ALUMINUM WINDOW MULLION, ANODIZED FINISH		
M2	WOOD CLAD WINDOW MULLION		
MS	ARCHITECTURAL METAL SCREEN & BALCONY RAIL		
MA	METAL ACCENTS		



No.	Date	Issued and Revisions	By
		DESIGN/NOI AND BID SET	11/20/16
		SITE PERMIT RESUBMITTAL	11/31/16
		SITE PERMIT REVISION (DR)	5/5/17
		SITE PERMIT REVISION (SFD)	6/18/17
		CONDITIONAL USE PERMIT RESUBMITTAL	6/19/17

Scale: 1/8" = 1'-0"



Project Name: THE PALACE AT WASHINGTON SQ

1731-1741 Powell Street
San Francisco, CA 94133

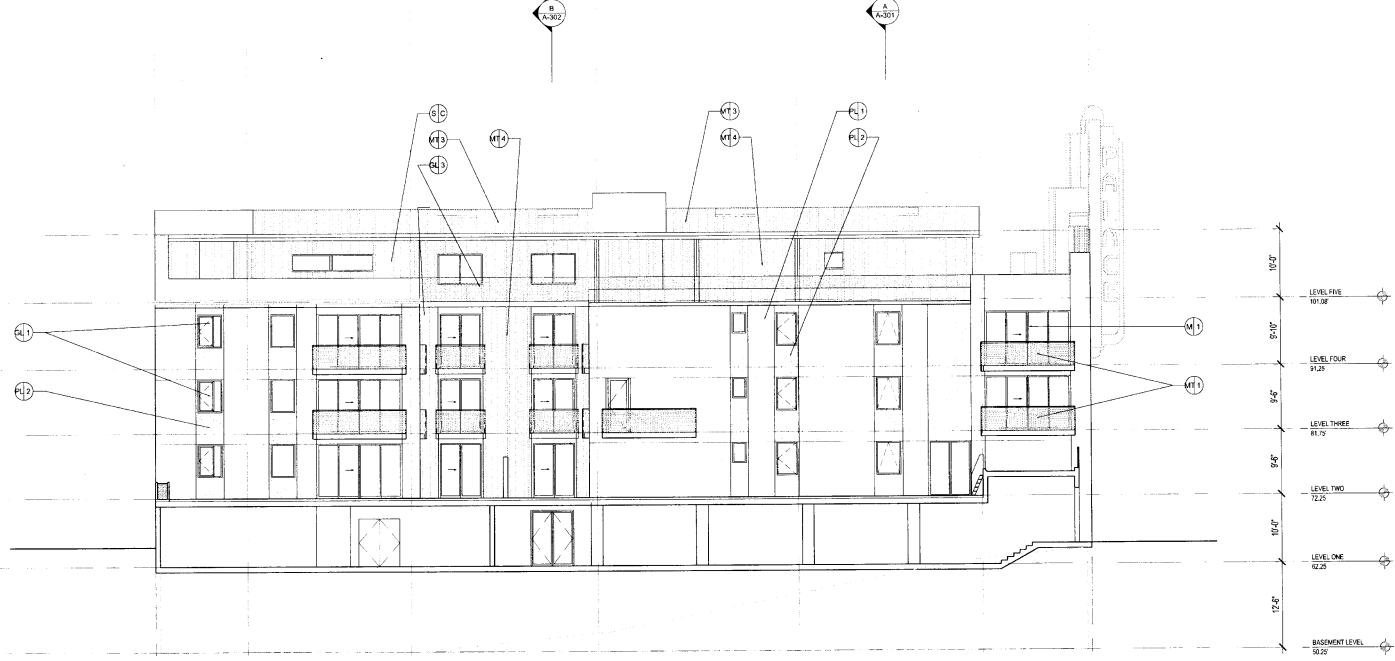
Orientation: SOUTH ELEVATION

Sheet: A-202

Project Name: THE PALACE AT WASHINGTON SQ

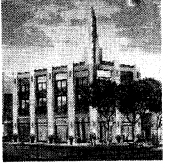
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1 2 3 4 5 6 7



01 BUILDING ELEVATION - SOUTH
Scale: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE		EXTERIOR FINISH SCHEDULE	
(S11) CEMENT PLASTER, LIGHT COLOR, FINE SAND FLOAT FINISH	(M11) STANDING SEAM METAL ROOF	(S12) CEMENT PLASTER, MEDIUM COLOR, KNOCKDOWN DASH FINISH	(M12) METAL CLADDING
(S12) LIMESTONE	(M13) METAL GARAGE DOOR	(S13) GRANITE BASE	(S14) EXTERIOR WALL SCONCE
(S14) LOW-E CLEAR GLASS	(S15) SOLAR PANEL	(S15) STOREFRONT GLASS	
(S16) GLASS GUARDRAIL		(M14) ALUMINUM WINDOW MULLION, ANODIZED FINISH	
(M15) WOOD CLAD WINDOW MULLION		(M15) ARCHITECTURAL METAL SCREEN & BALCONY RAIL	
(M16) METAL ACCENTS			



No.	Date	Issue and Revisions	By
		DESIGN/ALD BID SET	11/21/16
		SITE PERMIT RESUBMITTAL	11/31/16
		SITE PERMIT REVISION (LH)	05/21/17
		SITE PERMIT REVISION (OFF)	01/01/17
		CONDITIONAL USE PERMIT RESUBMITTAL	07/13/17

Original Size 34" x 36"



Project Name
THE PALACE AT WASHINGTON SQ

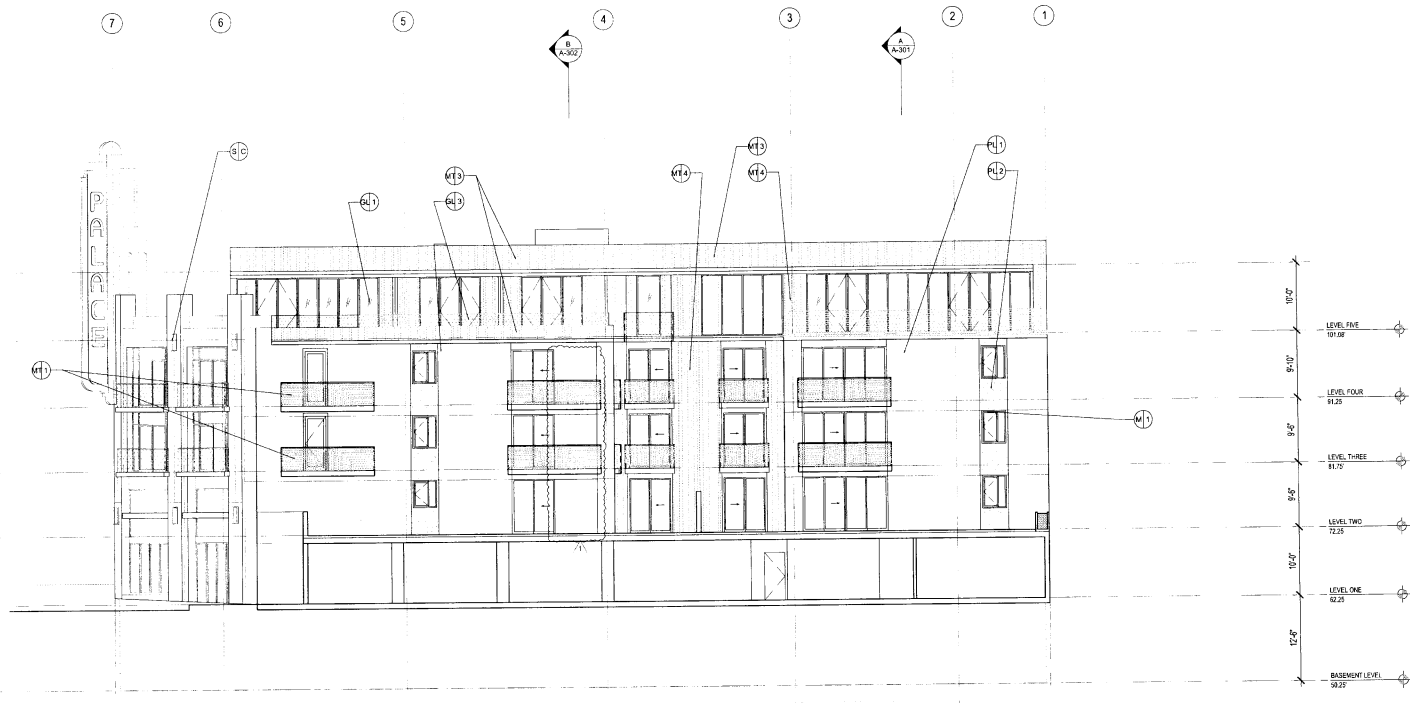
1731-1741 Powell Street
San Francisco, CA 94133

Description
NORTH ELEVATION

Sheet
A-203

Project Name
THE PALACE AT WASHINGTON SQ

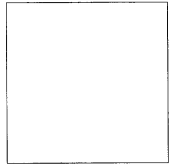
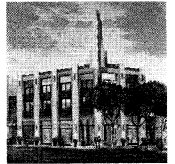
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01 BUILDING ELEVATION - NORTH
Scale: 1/8" = 1'-0"

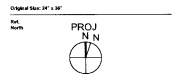
EXTERIOR FINISH SCHEDULE	
M1	CEMENT PLASTER, LIGHT COLOR, FINE SAND FLOAT FINISH
M2	CEMENT PLASTER, MEDIUM COLOR, KNOCKDOWN DASH FINISH
M3	LIMESTONE
M4	GRANITE BASE
M5	LOW-E CLEAR GLASS
M6	STOREFRONT GLASS
M7	GLASS GUARDRAIL
M8	ALUMINUM WINDOW MULLION, ANODIZED FINISH
M9	WOOD CLAD WINDOW MULLION
M10	ARCHITECTURAL METAL SCREEN & BALCONY RAIL
M11	METAL ACCENTS

EXTERIOR FINISH SCHEDULE	
M12	STANDING SEAM METAL ROOF
M13	METAL CLADDING
M14	METAL GARAGE DOOR
C1	EXTERIOR WALL SCOFF
C2	SOLAR PANEL



No.	Date	Revisions and Remarks	By
		DESIGN/BUILD RD SET	11/10/10
		SITE PERMIT RE/SUBMITTAL	11/23/10
		LIFE PERMIT REVISION (DR)	5/5/11
		SITE PERMIT REVISION (SPE)	6/19/12
		CONDITIONAL USE PERMIT RE/SUBMITTAL	12/13

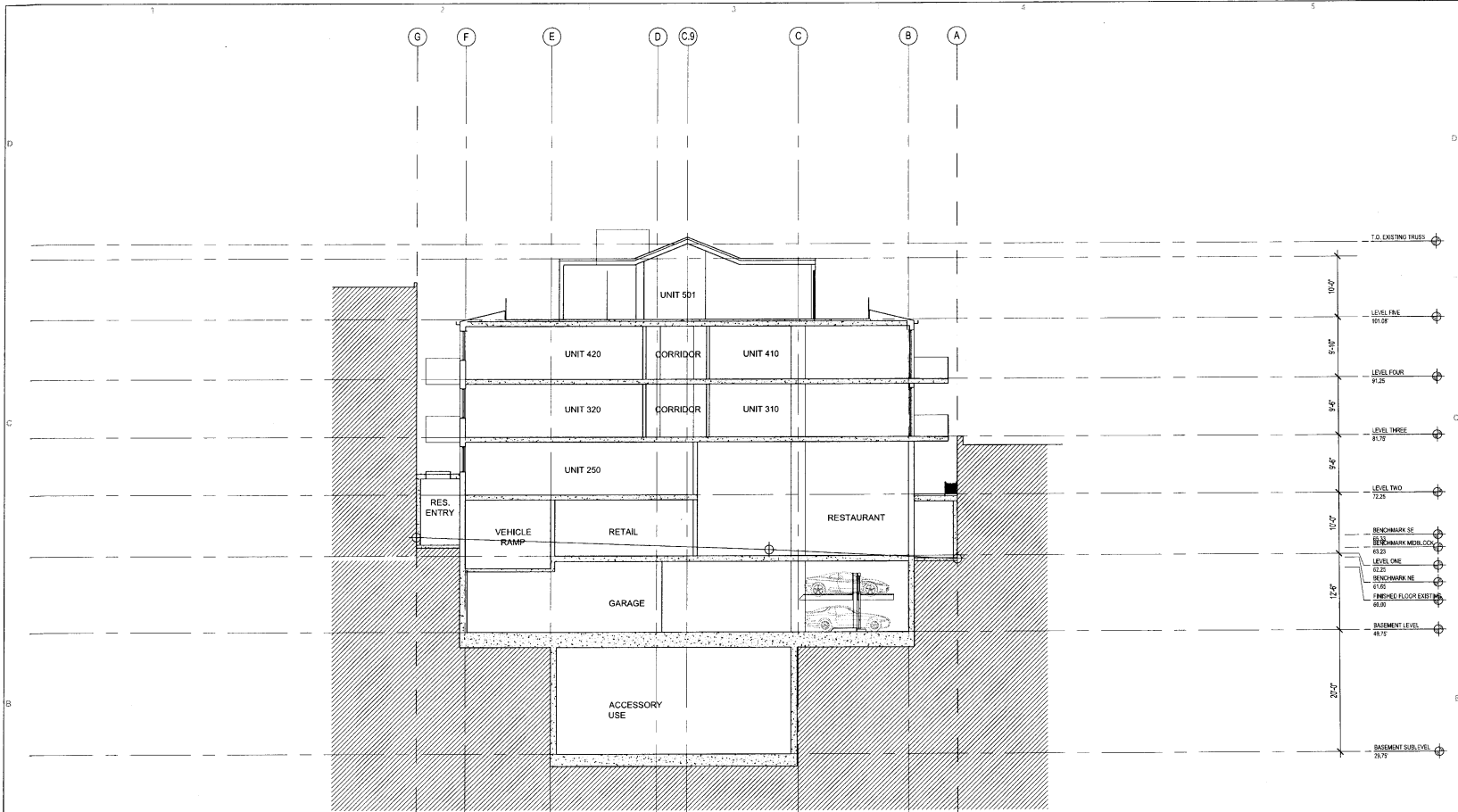
Scale: _____



Project Name
THE PALACE AT WASHINGTON SQ
 1731-1741 Powell Street
 San Francisco, CA 94133
 Description
BUILDING SECTION A-A

Sheet
A-301

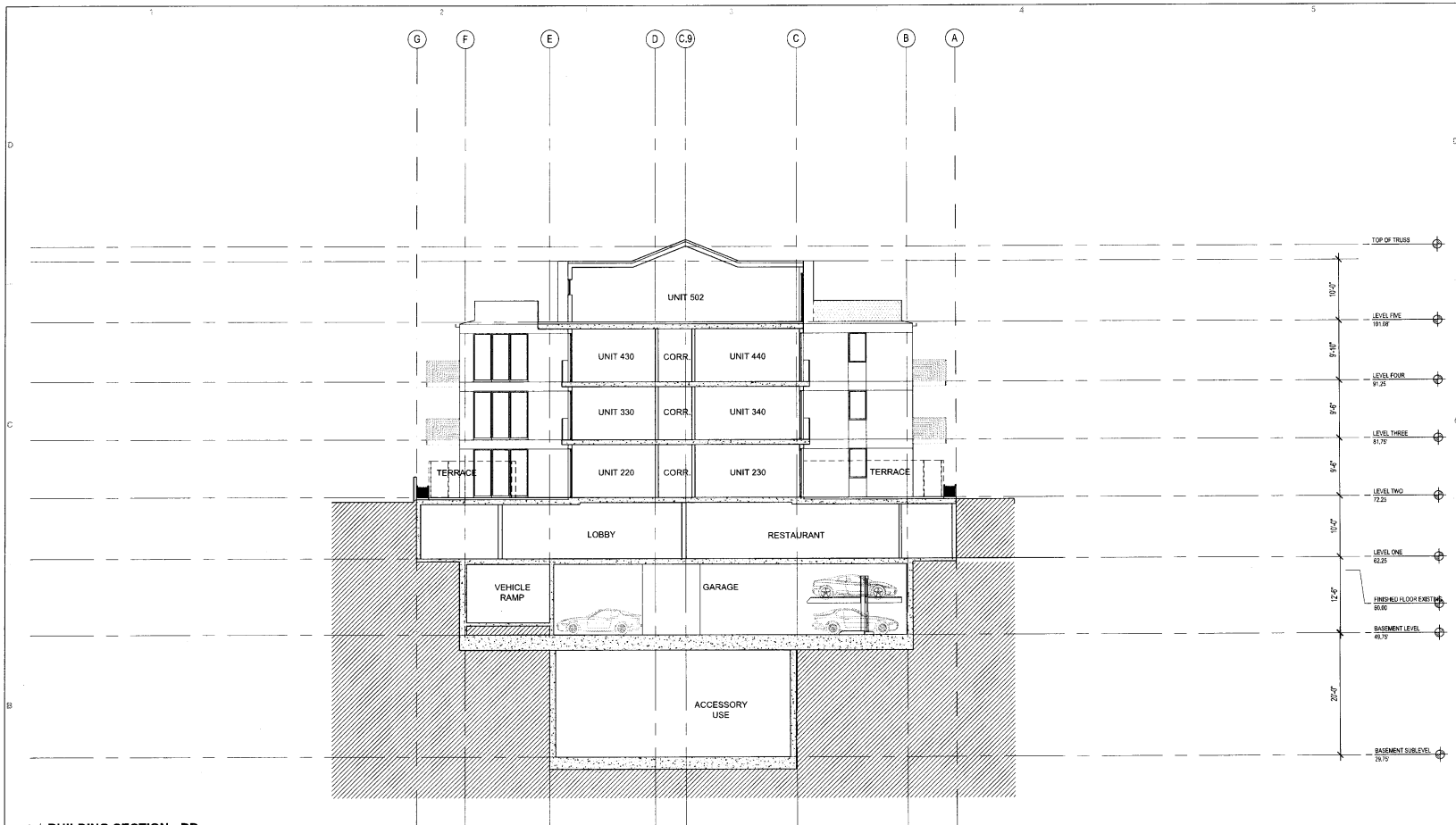
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01 BUILDING SECTION - AA
 Scale: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE	
(11)	CEMENT PLASTER, LIGHT COLOR, FINE SAND FLOAT FINISH
(12)	CEMENT PLASTER, MEDIUM COLOR, KNOCKDOWN DASH FINISH
(13)	LIMESTONE
(14)	GRANITE BASE
(15)	LOW-E CLEAR GLASS
(16)	STOREFRONT GLASS
(17)	GLASS GUARDRAIL
(18)	ALUMINUM WINDOW MULLION, ANODIZED FINISH
(19)	WOOD CLAD WINDOW MULLION
(20)	ARCHITECTURAL METAL SCREEN & BALCONY RAIL
(21)	METAL ACCENTS

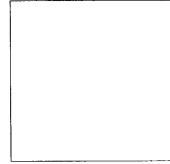
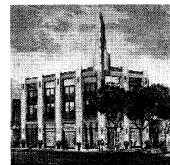
EXTERIOR FINISH SCHEDULE	
(22)	STANDING SEAM METAL ROOF
(23)	METAL CLADDING
(24)	ROLL DOWN DOOR
(25)	EXTERIOR WALL SCIENCE
(26)	SOLAR PANEL



01 BUILDING SECTION - BB
Scale: 1/8" = 1'-0"

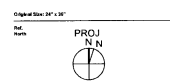
EXTERIOR FINISH SCHEDULE	
(1)	CEMENT PLASTER, LIGHT COLOR, FINE SAND FLOAT FINISH
(2)	CEMENT PLASTER, MEDIUM COLOR, KNOCKDOWN DASH FINISH
(3)	LIMESTONE
(4)	GRANITE BASE
(5)	LOW-E CLEAR GLASS
(6)	STOREFRONT GLASS
(7)	GLASS GUARDRAIL
(8)	ALUMINUM WINDOW MULLION, ANODIZED FINISH
(9)	WOOD CLAD WINDOW MULLION
(10)	ARCHITECTURAL METAL SCREEN & BALCONY RAIL
(11)	METAL ACCENTS

EXTERIOR FINISH SCHEDULE	
(12)	STANDING SEAM METAL ROOF
(13)	METAL CLADDING
(14)	ROLL DOWN DOOR
(15)	EXTERIOR WALL SCIENCE
(16)	SOLAR PANEL



No.	Date	Issue and Revisions	By
		DESIGN/PERMITS SUBMITTAL	11/02/19
		PERMITS RESUBMITTAL	11/03/19
		PERMITS RESUBMITTAL	02/01/20
		PERMITS RESUBMITTAL	04/15/20
		PERMITS RESUBMITTAL	07/13/20

No.	Date	Issue and Revisions	By
		DESIGN/PERMITS SUBMITTAL	11/02/19
		PERMITS RESUBMITTAL	11/03/19
		PERMITS RESUBMITTAL	02/01/20
		PERMITS RESUBMITTAL	04/15/20
		PERMITS RESUBMITTAL	07/13/20



Project Name
THE PALACE AT WASHINGTON SQ

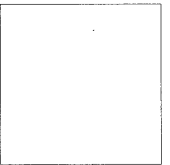
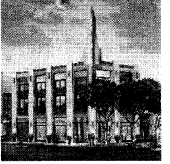
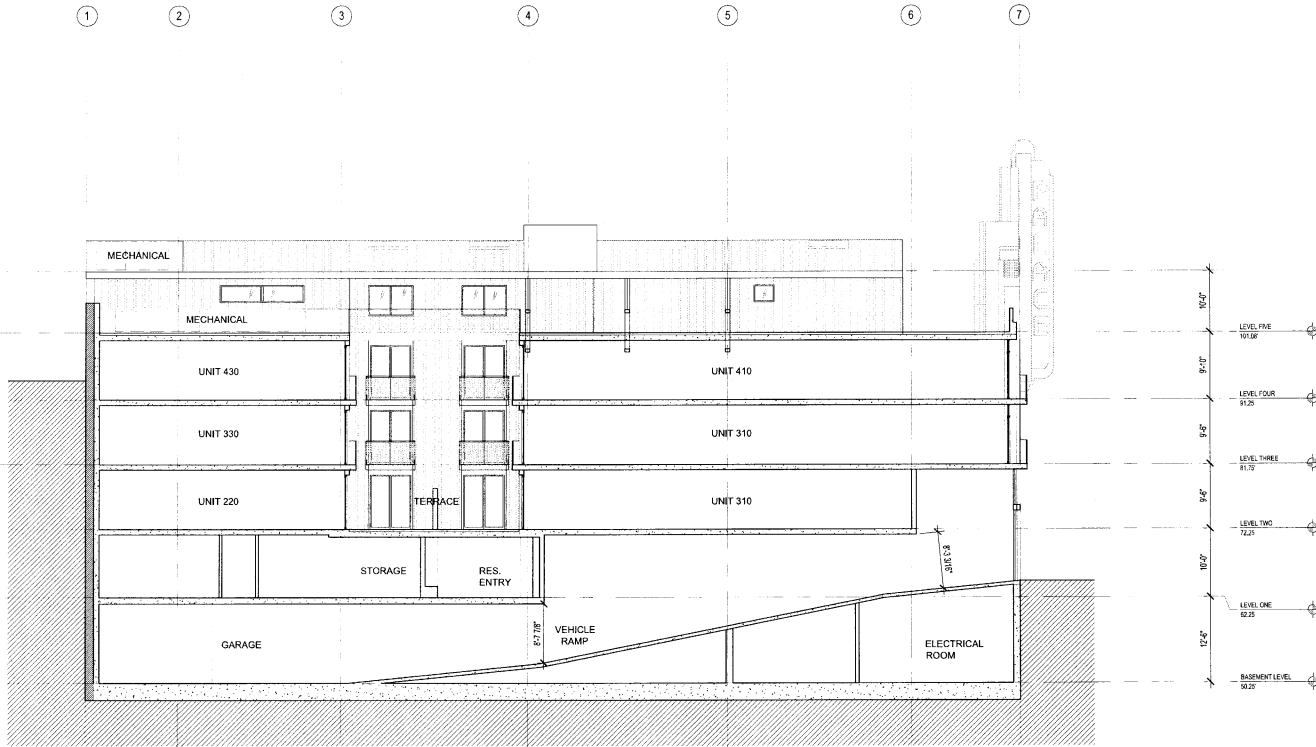
1731-1741 Powell Street
San Francisco, CA 94133

Description
BUILDING SECTION B-B

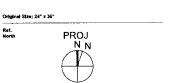
Sheet
A-302

Project Name

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No.	Date	Revised and Rechecked	By
		DESIGN/BUILD BID SET	11/20/10
		SITE PERMIT RESUBMITTAL	11/20/10
		SITE PERMIT REVISION 006	5/25/11
		SITE PERMIT REVISION 007	6/18/12
		CONDITIONAL USE PERMIT RESUBMITTAL	5/13/12



Project Name
THE PALACE AT WASHINGTON SQ
 1731-1741 Powell Street
 San Francisco, CA 94133
 Consultant
BUILDING SECTION C-C

Sheet
A-303
 Project Phase

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01 | BUILDING SECTION - CC
 Scale: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE		EXTERIOR FINISH SCHEDULE	
(C1) CEMENT PLASTER, LIGHT COLOR, FINE SAND FLOAT FINISH	(R1) STANDING SEAM METAL ROOF	(M1) METAL CLADDING	
(C2) CEMENT PLASTER, MEDIUM COLOR, KNOCKDOWN DASH FINISH	(R2) METAL CLADDING	(R3) ROLL DOWN DOOR	
(L1) LIMESTONE	(R3) EXTERIOR WALL SCIENCE	(S1) SOLAR PANEL	
(G1) GRANITE BASE			
(GL1) LOW-E CLEAR GLASS			
(GL2) STOREFRONT GLASS			
(GL3) GLASS GUARDRAIL			
(M1) ALUMINUM WINDOW MULLION, ANODIZED FINISH			
(M2) WOOD CLAD WINDOW MULLION			
(MT1) ARCHITECTURAL METAL SCREEN & BALCONY RAIL			
(MT2) METAL ACCENTS			

SYMBOLS LEGEND

PROJ NORTH
NORTH ARROW

B3 VIEW NAME
Scale: 1/8" = 1'-0"

DRAWING TITLE
DRAWING SHEET NO

BUILDING SECTION
DRAWING SHEET NO

SECTION VIEW
DRAWING SHEET NO

EXTERIOR ELEVATION
DRAWING SHEET NO

INTERIOR ELEVATION
DRAWING SHEET NO

INTERIOR ELEVATION
MULTIPLE VIEWS
DRAWING SHEET NO

DETAIL INDICATORS
DRAWING SHEET NO

DETAIL INDICATORS
DRAWING SHEET NO

DETAIL INDICATOR
SMALL CONDITIONS
DRAWING SHEET NO

ROOM NUMBER

WINDOW TYPE

DOOR NUMBER

LOUVER TYPE

KEY NOTE
GENERAL

KEY NOTE
REFERENCED

REVISION INDICATOR
W REVISION CLOUD

WALL TYPE

FURNITURE, FIXTURE
EQUIPMENT INDICATOR

ELEVATION MARKER

BUILDING AREA GSF

	S-2	A-2	M	R-2	TOTAL
SUB BASEMENT				3302 SF	3302 SF
BASEMENT LEVEL	9,989 SF				9,989 SF
GROUND LEVEL		4483 SF		6998 SF	11481 SF
SECOND LEVEL				8040 SF	8040 SF
THIRD LEVEL				9090 SF	9090 SF
FOURTH LEVEL				9090 SF	9090 SF
FIFTH LEVEL				4959 SF	4959 SF
TOTAL	9,989 SF	4483 SF		41,419 SF	55,951 SF

BUILDING CODE SUMMARY

302.1	OCCUPANCY	R-2, S-2, A-2, M
903.2	SPRINKLERS	PROVIDED
CHP 6	TYPE OF CONSTRUCTION	R-2, A-2, M TYPE II A S-2 TYPE I A
TABLE 503, 502, 506, 406	ALLOWABLE AREA PER STORY	TYPE II A / R-2 24,000 SF TYPE I A / S-2 UNLIMITED TYPE II A / A-2 15,500 SF
TABLE 503, 504	ALLOWABLE HEIGHT AND STORIES ABOVE GRADE	85 FEET AND 5 STORIES PER TABLE 503 AND EXCEPTION 504.2
TABLE 601	FIRE RESISTANCE OF MAJOR BUILDING ELEMENTS	SEE TABLE 601
TABLE 602	FIRE RATING OF EXTERIOR WALLS	SEE G-021 THROUGH G-024
705.8	EXTERIOR OPENING PROTECTION REQUIREMENTS	SEE A-1B1 THROUGH A-105
509.2, 406	SEPARATION OF OCCUPANCIES	3 HOUR SEPERATION BETWEEN S-2 (ENCLOSED PARKING GARAGE), AND R-2 OCCUPANCIES, SHAFT AND STAIRWAY ENCLOSURES THROUGH THE ASSEMBLY HAVE A 2 HOUR RATING, SEE G-021 THROUGH G-023
CHP 10	OCCUPANT LOAD AND EGRESS	SEE G-021 THROUGH G-024

TABLE 601 FIRE-RESISTANCE REQUIREMENTS FOR BUILDING ELEMENTS

BUILDING ELEMENT	TYPE I		TYPE II	
	A	A	A	A
Structural Frame	3	1		
Bearing walls				
Exterior	3	1		
Interior	3	1		
Nonbearing walls & partitions				
Exterior	See Table 602	See Table 602		
Nonbearing walls & partitions				
Interior	0	0		
Floor construction	2	1		
Including supporting beams & joists				
Roof construction	1 1/2	1		
Including supporting beams & joists				

AB-009

COLLECTION AND STORAGE OF TRASH, RECYCLING, AND COMPOSTABLE MATERIALS. THIS PROJECT SHALL COMPLY WITH THE CONDITIONS AND REQUIREMENTS OF SFCB AB-009

APPLICABLE CODES

2010 California Administrative Code
Title 24, Part 1

ADMINISTRATIVE

BUILDING: 2010 CALIFORNIA BUILDING CODE TITLE 24, PART 2, VOL. 1 & 2
W/ CITY OF SAN FRANCISCO AMENDMENTS

ELECTRICAL: 2010 CALIFORNIA ELECTRICAL CODE TITLE 24, PART 3
W/ CITY OF SAN FRANCISCO AMENDMENTS

MECHANICAL: 2010 CALIFORNIA MECHANICAL CODE TITLE 24, PART 4
W/ CITY OF SAN FRANCISCO AMENDMENTS

PLUMBING: 2010 CALIFORNIA PLUMBING CODE TITLE 24, PART 5
W/ CITY OF SAN FRANCISCO AMENDMENTS

ENERGY: 2010 CALIFORNIA ENERGY CODE TITLE 24, PART 6
W/ CITY OF SAN FRANCISCO AMENDMENTS

ELEVATOR: CALIFORNIA ELEVATOR SAFETY CONSTRUCTION CODE TITLE 24, PART 7
W/ CITY OF SAN FRANCISCO AMENDMENTS

HISTORICAL: CALIFORNIA HISTORICAL BUILDING CODE TITLE 24, PART 8
W/ CITY OF SAN FRANCISCO AMENDMENTS

FIRE: 2010 CALIFORNIA FIRE CODE TITLE 24, PART 9
W/ CITY OF SAN FRANCISCO AMENDMENTS
2010 (CBC) CHAPTERS 10, 11B, 30; Sec. 403, 905, 1005.3.3.7 & 7.1 (Title 24)

ACCESSIBILITY: ADA ACCESSIBILITY GUIDELINES ADAAG

PLANNING: CITY OF SAN FRANCISCO PLANNING CODE

HEALTH: 2010 STATE OF CALIFORNIA HEALTH & SAFETY CODE
2010 CITY AND COUNTY OF SAN FRANCISCO HEALTH CODE

OTHER: PG&E GREEN BOOK

TABLE 503 ALLOWABLE HEIGHT AND BUILDING AREAS

GROUP	HEIGHT (FEET)	TYPE OF CONSTRUCTION	
		TYPE I	TYPE II
		A	A
R-2	S	-	4
	A	-	24,000
S-2	S	UL	-
	A	UL	-
A-2	S	-	3
	A	-	15,500
M	S	-	4
	A	-	21,500

504.2 Where a building is equipped throughout with an approved automatic sprinkler system in accordance with section 903.3.1.1 the value specified in Table 503 for maximum height is increased by 20 feet and the maximum number of stories is increased by one.

TABLE 602 FIRE-RESISTANCE RATING REQUIREMENTS FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCE^{a,b}

FIRE SEPARATION DISTANCE = X (feet)	TYPE OF CONSTRUCTION	OCCUPANCY GROUP A, B, E, F-2, R, S-2, U ^c	
		IA	IB, VB
X < 5	All	1	1
5 ≤ X < 10	IA, IB, VB, Others	1 _a	1 _a
10 ≤ X < 30	IA, IB, VB, Others	0	0
X ≥ 30	All	0	0

NOTES LEGEND

a Load-bearing exterior walls shall also comply with the fire-resistance rating requirements of Table 601.

b For special requirements for Group U occupancies see Section 406.1.2.

c See Section 705.1.1 for party walls.

d Open parking garages complying with Section 406 shall not be required to have a fire-resistance rating.

e The fire-resistance rating of an exterior wall is determined based upon the fire separation distance of the exterior wall and the story in which the wall is located.

f Group R-3, and Group U when used as accessory to Group R-3, shall not be required to have a fire-resistance rating where the fire separation distance is 5 feet or more.

PROJECT SUMMARY

DEMOLITION OF AN EXISTING MOVIE THEATER. CONSTRUCTION OF A 5 STORY, 18 UNIT RESIDENTIAL BUILDING WITH FULL SERVICE GROUND FLOOR RESTAURANT OVER 2 BASEMENT LEVELS.

ZONING SUMMARY

ITEM	DATA
PROJECT ADDRESS	1731 POWELL STREET, SAN FRANCISCO, CA
BLOCK	0101
LOT	004
LOT AREA	11,840 SF
ZONING DISTRICT	NORTH BEACH, NCD
HEIGHT DISTRICT	40-X
CONSTRUCTION TYPE	TYPE IA, IIA
ALLOWABLE / REQUIRED	ACTUAL / PROVIDED
USE	SINGLE, MULTIPLE FAMILY DWELLING
HEIGHT	40X DISTRICT EXISTING BUILDING IS 52' IN HEIGHT
STORIES	5
OUTDOOR LIVING SPACE	960 SF PRIVATE OPEN SPACE
RESIDENTIAL PARKING	16
VARIANCE	CASE # 2007.1117CEV
AUTOMATIC SPRINKLER SYSTEM	REQUIRED PER CBC 903.2

UNIT AND OPEN SPACE COUNT

	UNIT	SF	PRIVATE OPEN SPACE SF	COMMON OPEN SPACE SF	BEDROOMS
SECOND LEVEL	220	1407	522		2
	230	1425	459		2
	240	1518	470		2
	250	1714	476		2
THIRD LEVEL	310	903	69		1
	320	970			1
	330	1416			2
	340	1415	78		2
	350	1518	78		2
	360	989	78		1
	410	908	69		1
	420	970	78		1
FOURTH LEVEL	430	1416			2
	440	1415	78		2
	450	1518	78		2
	460	989			1
FIFTH LEVEL	501	1821	1100	606	3
	502	1961	528		3
TOTAL	18	24,430	4005	606	33

PROJECT DIRECTORY

CLIENT: Palace LLC - Joel Campos
2731 Mission Street
San Francisco, CA 94110

Owner's Representative: Jorge Montenegro
P: (415) 948-7727

ARCHITECT: Steve Walker
Studio, Inc.
1080 Avenue M, Building 670,
Treasure Island, SF, 94130
P: 415 518 4616
steve@stevewalkerstudio.com

INDEX OF DRAWINGS

DWG #	DRAWING SHEET TITLE
G-001	GENERAL - PROJECT INFORMATION / CODE SUMMARIES
G-053	HISTORIC SIGN DOCUMENTS
D-101	GROUND LEVEL DEMOLITION PLAN
A-100	SITE PLAN
A-1B2	BASEMENT SUBLEVEL PLAN
A-1B1	BASEMENT LEVEL PLAN
A-101	GROUND LEVEL PLAN
A-102	SECOND LEVEL PLAN
A-103	THIRD LEVEL PLAN
A-104	FOURTH LEVEL PLAN
A-105	FIFTH LEVEL PLAN
A-106	ROOF LEVEL PLAN
A-201	BUILDING ELEVATIONS
A-202	BUILDING ELEVATIONS
A-203	BUILDING ELEVATIONS
A-301	BUILDING SECTIONS
A-302	BUILDING SECTIONS
A-303	BUILDING SECTIONS
M-001	MATERIALS BOARD

VICINITY MAP

No.	Date	Revised and Rechecked	By
DESIGN/BUILD 903 SET			11/20/09
SITE PERMIT RESUBMITTAL			11/20/09
SITE PERMIT REVISION (DB)			05/01/11
SITE PERMIT REVISION (SFFD)			05/18/11
CONDITIONAL USE PERMIT RESUBMITTAL			10/19/11

Scale: 1" = 100'

Original Date: 10' x 10'

THE PALACE AT WASHINGTON SQ
1731-1741 Powell Street
San Francisco, CA 94133

GENERAL PROJECT INFORMATION

G-001

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HISTORIC SIGN DOCUMENTS

MEMORANDUM

DATE: 23 October 2009 PROJECT NO.: 09020
 TO: Joel Campos, PROJECT OWNER, Pagoda Theatre
 FROM: Rebecca Fogel, Cultural Resource Specialist
 140 George Avenue, San Francisco, CA 94112, joel@pagoda.com
 RE: Page Turnbull, VLL, Email

REVISIONS: PROJECT: PALACE AT WASHINGTON, PRELIMINARY ASSESSMENT

This memorandum provides a preliminary assessment of the historic blade sign at the Pagoda Theatre. Rehabilitation of the historic blade sign according to the Secretary of the Interior's Standards for Rehabilitation Standards was found to be a condition of approval at the Planning Commission Resolution #1777 (8 January 2009). However, the project sponsor's insurance company views the blade sign as a liability, and will not insure the building with the blade sign in place. In a letter dated June 19, 2009, the insurance company states that the Pagoda Theatre "has no such sign that is separately very covered, and that so as to be removed before the underwriting department would be able to place the insurance in effect, the sign is presumably being put down as an ornament."

Additionally, an analysis completed by structural engineer Simon & Umata on September 11, 2009, concluded that the work treatment of the steel due to the mass and height and weight of the blade sign on the historic-wood building could pose a structural liability. Simon & Umata thus recommended that "the blade sign be removed to remove such threat to the general public in case of structural or wind load failure."

After a preliminary visual assessment of the historic blade sign, Page & Turnbull concurs that removing the sign materials is a cleaning and removal process that complies with the Standards. This removal is not only in both the Planning Department's condition of approval and the safety concerns of the insurance company and the structural engineer. However, the blade sign should not be disposed of, but rather dismantled and stored. Once the blade sign is removed, a detailed analysis of the existing conditions of the sign materials must be completed to determine if there are any components that can be reused, and detailed "as-built" drawings must be completed to guide the replacement of any deteriorated features.

Preliminary Conditions Assessment

Photographs and measurements of the blade sign were taken on a site visit on September 11, 2009. From this visual assessment, we observed that the sign is comprised of two separate elements: a multi-piece structural frame, comprised of painted steel structural angle supports an entire cladding system comprised of laminated light gauge sheet and panels. The cladding appears to be attached to the structure by a combination of iron wire and riveted fasteners. The steel angle structure appears to be in good condition and does not appear to have signs of deterioration. The sheet steel cladding largely appears to be in good condition, although it does exhibit corrosion at the lower portions of several panels. To ensure maximum visual and physical access to the sign and the sign is kept at scale and a completed design, we were not able to fully document the dimensions of the sign or the supporting structure of the sign.

MEMORANDUM

In order to meet the Standards, the existing roof portions of the existing cladding and structure should be removed, and only the dimensional portions of the sign should be retained. It would be necessary to perform further analysis on the sign is dismantled in order to determine the specific conditions of each existing piece, as well as the thickness and makeup of the pieces. Page & Turnbull would be willing to assist in the further documentation of the existing sign as requested.

Guidelines for Blade Sign Removal

In order to ensure that the proposed project at the Pagoda Theatre complies with the Standards and all remains desirable for the project sponsor, Page & Turnbull recommends carefully dismantling and documenting the blade sign prior to construction, completing a detailed analysis of the existing condition of each existing piece, and reinstalling the sign on the new building using a strategy of repair over replacement. Guidelines for the treatment are detailed as follows:

- Carefully dismantle the blade sign in an orderly process:
 - Remove the cladding system first in either a top-down or bottom-up sequence.
 - Sequentially number the cladding pieces as they are removed from the sign, and produce a drawing of the existing configuration and overall dimensions of the sign.
 - Photograph steel angle structure from multiple angles and record overall plan and elevation measurements on a drawing, at the completion of the piece's removal, and
 - Dismantle and number the steel angle structure - with repair from a structural engineer - per the requests detailed above for the cladding pieces.
- Store dismantled blade sign in a dry, secure location.
- Conduct a detailed existing conditions assessment of historic, structural and complete details at initial drawings. It is our preliminary opinion that the steel angle structure does not exhibit signs of deterioration, and that a majority of the sheet steel cladding appears to be in good condition. This task would accurately identify exactly which pieces can be salvaged, and which pieces need to be replaced or built.
- Conduct a detailed structural analysis of the blade sign's current conditions and the structural requirements of the new building. We understand that the blade sign has structural weaknesses which are outside our area of expertise, and thus the feasibility of possible reuse during the blade sign should be thoroughly documented by a structural engineer as part of the detailed conditions assessment phase. Only if a structural engineer deems the existing sign frame to be a hazard would we consider recommending the replacement of the sign's structural elements.

Secretary of the Interior's Standards for Rehabilitation

As detailed in Planning Commission Resolution #1797 (8 January 2009), the treatment of the historic blade sign must comply with the Secretary of the Interior's Standards for Rehabilitation in order for the project to move forward. Rehabilitation Standard 6 is particularly relevant to the proposed treatment of the blade sign:

"Deteriorated historic features shall be repaired rather than replaced. Where the severity of deterioration requires replacement of a historic feature, the new feature shall match the old in design, color, texture, and other physical attributes. Replacement of missing elements shall be conducted by the Secretary and physical evidence."

MEMORANDUM

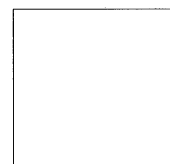
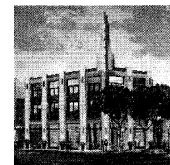
In order to comply with this Standard, the proposed treatment of the historic blade sign at the Pagoda Theatre must feature a strategy of repair over replacement. Careful removal of the blade sign according to the project's modified strategy is consistent with this Standard, since it will facilitate further study of the sign materials to determine if there are any components that can be reused. Once the blade sign has been carefully removed from the building, the condition of each cladding panel and structural element will be assessed in detail. This information is essential, as well as being used to estimate the amount of historic fabric which can be salvaged and reinstalled.

However, a preliminary assessment by structural engineers Simon & Umata (dated September 11, 2009) concluded that a removal of the sign would be a burden to the proposed concrete structure, and thus recommended that a new structural design for the blade sign should be utilized. While we understand that there are structural concerns that may prohibit a potential reuse of the blade sign, additional documentation of the structural requirements of the new building, explaining why the existing concrete is deficient and necessary for its replacement, and more detailed information of the blade sign's original support structure with new lighter frame will be consistent with this Standard.

Conclusion & Next Steps

Page & Turnbull's preliminary assessment shows that a majority of the historic blade sign appears to be in good condition, and could be repaired. However, we recognize that there are hidden issues surrounding the current condition of the blade sign, and thus recommend removing the sign prior to construction of the proposed project using methods that comply with the Secretary of the Interior's Standards for Rehabilitation. Once the blade sign has been removed from the Pagoda Theatre and stored during construction, Page & Turnbull will complete a thorough analysis of the existing conditions of the sign materials and produce detailed as-built drawings to ensure that the project complies with the Standards. Additionally, the proposed project's structural engineer should continue to be involved in the assessment of the blade sign, and should verify that the sign installation on the new building will be structurally sound.

The removal of the Pagoda Theatre's historic blade sign for future study is only the first step in its treatment and a more detailed plan for the installation of the sign on the new building will be developed once the additional studies have been completed. In order to comply with the Standards and meet the Planning Department condition of approval as detailed in Planning Commission Resolution #1777 (8 January 2009), the future treatment of the historic blade sign requires a strategy of repair over replacement. The Planning Department should be consulted on the proposed treatment as it develops, and must approve the work as part of the proposed project prior to construction.



No.	Date	Issue and Resolution	By
DESIGN-BUILD 001 SET	11/20/09		
SITE PERMIT REVISION #1	11/20/09		
SITE PERMIT REVISION #2	05/01/10		
SITE PERMIT REVISION #3	04/16/10		
CONDITIONAL USE PERMIT REVISION #1	10/12		

Original Size: 11" x 17"
 Scale: 1/8" = 1'-0"



Project Name:
THE PALACE AT WASHINGTON SQ
 1731-1741 Powell Street
 San Francisco, CA 94133
 Description:
HISTORIC SIGN DOCUMENTS

Sheet:
G-053
 Project Name:

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DATE	DESCRIPTION	BY	APP'D
10/23/09	PRELIMINARY ASSESSMENT	RF	JC
11/20/09	SITE PERMIT REVISION #1	RF	JC
05/01/10	SITE PERMIT REVISION #2	RF	JC
04/16/10	SITE PERMIT REVISION #3	RF	JC

DATE	DESCRIPTION	BY	APP'D
10/23/09	PRELIMINARY ASSESSMENT	RF	JC
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05/01/10	SITE PERMIT REVISION #2	RF	JC
04/16/10	SITE PERMIT REVISION #3	RF	JC

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